

Quarterly Preliminary Wastewater Allocation Request

Current Total Capacity Available: 954,463 gpd*

*This will be the majority of flow available until early 2024. Economic Development projects Steris and Golden Home are accounted for in this number along with the Interlocal agreement with Midland.

Policy Breakdown:

| | |
|-----------------------|--------------|
| Economic Development: | 250,000 gpd |
| Non-residential: | 274,955 gpd |
| Residential: | 334,062 gpd |
| Single Family: | 167,031 gpd |
| Townhomes: | 83,515.5 gpd |
| Apartments: | 83,515.5 gpd |
| Mixed Use: | 95,446 gpd |

Project Application Summary:

Non-residential

- Villas at Rocky River – 5 outparcels – 16,450 gpd
- Christenbury Village – Grocery Store, 3 commercial bldgs. – 12,064 gpd
- BP – The Mills at Rocky River – convenience store, carwash – 2,200 gpd
- Aviation Industrial – two building flex industrial – 1,200 gpd
- Holly Grove Subdivision – 40,000 sf office and retail – 4032 gpd

Residential

- Wallace Meadows – 81 townhomes – 19,440 gpd
- Copperfield Mixed Use – 360 apts, 64 townhomes – 101,760 gpd
- Royscroft – 371 single family homes – 120,220 gpd
- Cambridge Commons – 194 townhomes – 46,560 gpd
- Villas at Rocky River – 272 apts – 46,400 gpd
- Skybrook Corners – 52 townhomes – 12,480 gpd
- The Mills at Rocky River – 95 townhomes – 22,800 gpd
- Wicker Park – 126 single family homes – 41,020 gpd
- Coleman Mill – 152 apartments – 25,360 gpd
- Amhurst Subdivision – 39 single family homes – 9,360 gpd
- Weddington Ridge Phase 2 – 165 apartments – 26,400 gpd
- Christenbury Commons – 63 townhomes – 15,120 gpd

- Holly Grove Subdivision – 127 townhomes – 30,480 gpd
- Weddington Ridge Phase 3 – 137 townhomes – 34,320 gpd

Mixed Use

- Christenbury Village – two mixed used buildings – 33,778 gpd

Total Flow Requested:

Non-residential: 35,946 gpd

Residential: 551,720 gpd

| | |
|----------------|-------------------|
| Single Family: | 170,600 gpd (31%) |
| Townhomes: | 196,560 gpd (36%) |
| Apartments: | 184,560 gpd (33%) |

Mixed Use: 33,778 gpd

Total Flow Requested with Residential Phasing:

Non-residential: 35,946 gpd

Residential: 312,560 gpd in 2022, 157,180 gpd in 2024, and 81,980 gpd in 2027

| | |
|----------------|---|
| Single Family: | 73,360 gpd in 2022, 57,020 gpd in 2024, and 40,220 gpd in 2027 |
| Townhomes: | 153,840* gpd in 2022, 42,720 gpd in 2024, and 0 gpd in 2027 |
| Apartments: | 85,360* gpd in 2022, 57,440 gpd in 2024, and 41,760 gpd in 2027 |

*assumed Copperfield Mixed Use evenly split phasing between apartments and townhomes.

Mixed Use: 33,778 gpd

Public facilities on the horizon:

RB McAllister Elementary School – 5,028 gpd - 2022

Public Safety Training Facility – post 2024

Residential

Coleman Mill (PRS2021-01908)

403 Office Dr SW./625 Main St. SW

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|---------------------------|----------------------|
| 6/23/2021 | 1/21/2022 | 152 affordable apartments | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|-------|-------|------|------|
| 25360 | 25360 | | |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|-----------------|--------------------|--------------------|----------------------|----------------|------------------------------------|--------|-------|
| 1 | 0 | 1 | 0 | 0 | 1 | 0 | 3 |

Brief Summary

152 apartments in the renovated mill along Main St and Office Dr. The property was rezoned via case Z(CD) 16-18. The Planning and Zoning Commission approved by super-majority on April 16, 2019. Prior to the rezoning hearing, a Certificate of Appropriateness was granted by the Historic Preservation Commission for the rehabilitation of the mill on August 8, 2018. The City Council adopted a resolution of intent to issue \$18 million in tax exempt bonds to finance the acquisition, rehabilitation, and equipping of mixed income units on October 8, 2020: this was an amendment to an earlier \$14 million request that was approved in May of 2019. City Council also approved the allocation of \$385,000 in HOME funding and a grant of \$300,000 in bond issuance fees on June 11, 2020.

Due to stream buffer impacts, non-standard parking configuration, and parking encroachment into the front setback, a variance request was heard and granted by the Board of Adjustment on January 25, 2022.

This project falls within the area of the Center City Plan (2003).

Outstanding Items

The applicant is close to civil site plan approval: we are awaiting NCDEQ Sedimentation and Erosion Control Permit. The National Park Service and NC State Historic Preservation Office have some outstanding comments on the site design as well from their tax credit review. The property is subject to a rehearing on their Certificate of Appropriateness due to design changes that are reflected in the building plans. A clear environmental report is required for the use of federal funds: portions have been received, but the final approval from NCDEQ has not been received due to mitigation requirements.

Coleman Mill

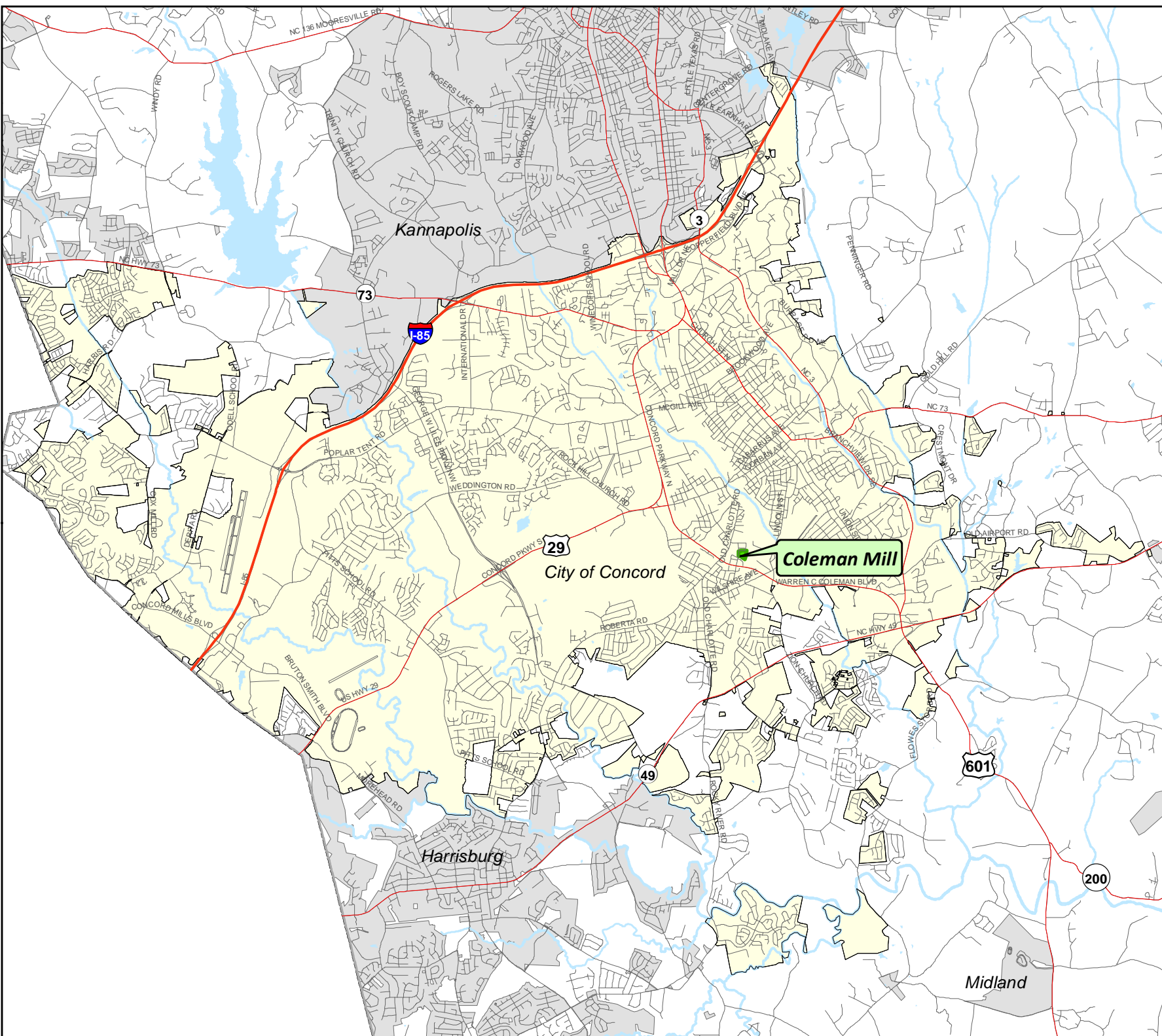
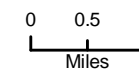
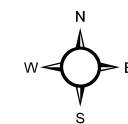
(PRS2021-01908)

152 Affordable Apartments

Allocation Request: 25,360

Project Scoring: 3

- Coleman Mill
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.



Project: Coleman Mill
Accela #: PRS2021-01908

Project Narrative

Coleman Mill Lofts is a 152-unit apartment development in Concord, NC, just north of Warren C. Coleman Boulevard (Rte. 601) at 625 Main Street SW. This is an adaptive reuse of historic mill and two warehouses, one of which will provide indoor parking. The total project is approximately 10.1 acres, although the project will occupy roughly half of that space due to the topographical challenges on the southern part of the parcel. The project has a nearly \$30 million budget.

The property is historic having been entered on the National Register of Historic Places in April of 2015. It was built as a cotton mill by the Coleman Manufacturing Company, founded by Warren C. Coleman, an African American born into slavery in 1849. Prior to founding the Coleman Manufacturing Company, Coleman was a successful merchant. It is thought to be one of the first mills established by a former slave in America. The largest building, the brick mill, dates to 1898. There are two warehouses, the eastern one built between 1902 and 1926, and the western built between 1927 and 1938. The former mill office, a one-story house, dates back to construction in the 1910s, with the structure being moved to the property by 1938. All four of these historic buildings will be retained and used for the project, allowing their continued use in the community.

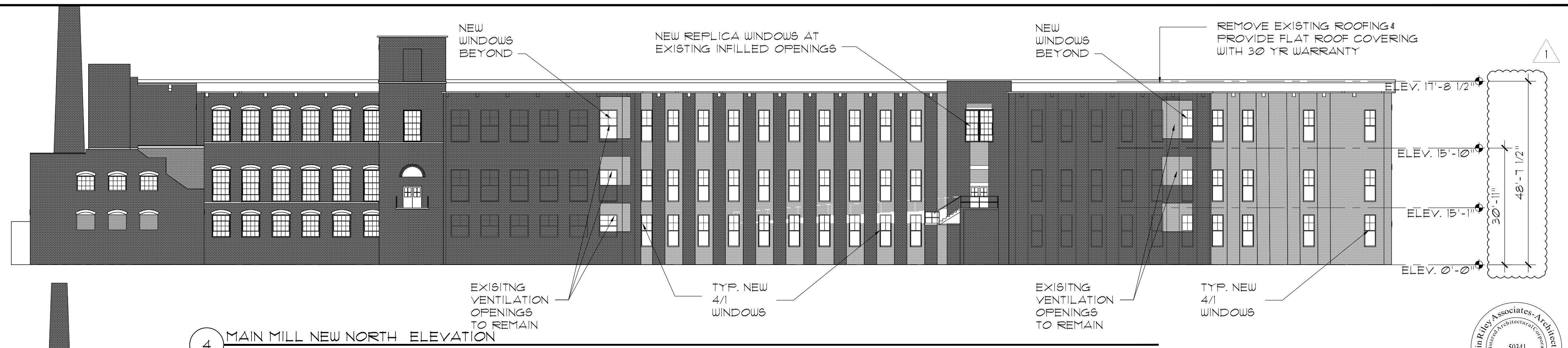
The property has been zoned Residential Compact to accommodate the unit density of the project. The areas to the north, west and southwest are predominantly single-family homes, and the property is bounded on the south by Warren C. Coleman Boulevard and on the east by a railroad. It is anticipated that a left turn lane will be required from Warren C. Coleman Boulevard onto Main Street SW by NC Department of Transportation, which will be part of the project budget.

The property will provide affordable family housing. The unit mix is 36 studio (one bath), 44 one-bedroom (one bath), 59 two-bedroom (two bath) and 13 three-bedroom (three bath). Roughly one-quarter of the units will be limited to tenants with incomes not exceeding 30% of the area median income, and the remaining units will be limited to tenants with incomes not exceeding 70% of the area median income. The projected monthly rents (which will be inclusive of water, sewer and garbage removal) for the units will be: studio (30% AMI - \$430; 70% AMI - \$960); one-bedroom (30% AMI - \$460; 70% AMI - \$1020); two bedroom (30% AMI - \$540; 70% AMI - \$1290); and three-bedroom (30% AMI - \$635; 70% AMI - \$1510). The market study commissioned by NC Housing Finance Agency concluded this project would have an overall capture rate of 5.2% of the market for the proposed 30% and 70% area median income levels, so there is ample demand for the housing the project proposes. In addition to ranges and refrigerators, each kitchen will have microwave ovens, disposers, dishwashers and washer/dryer. Amenities include a fitness center, playground, picnic area, and sauna, tenant storage and some indoor parking.

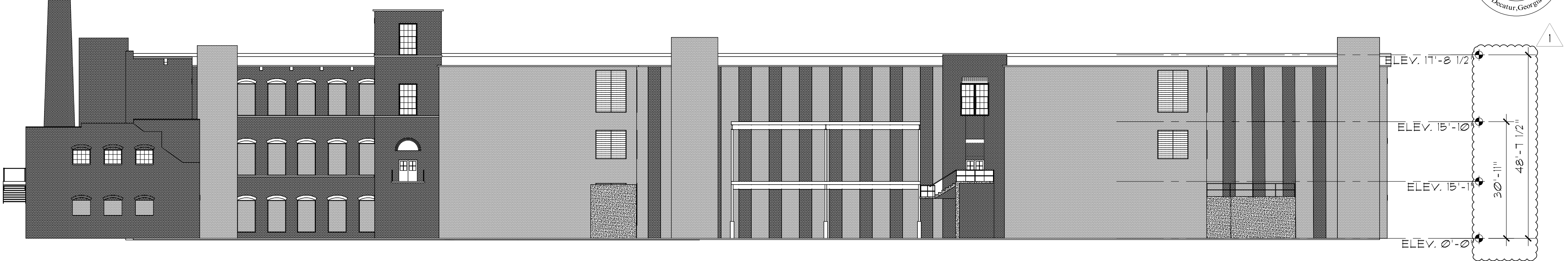
The units will be equipped with Watersense labeled plumbing fixtures.

DEMO NOTES (ALL BUILDINGS):

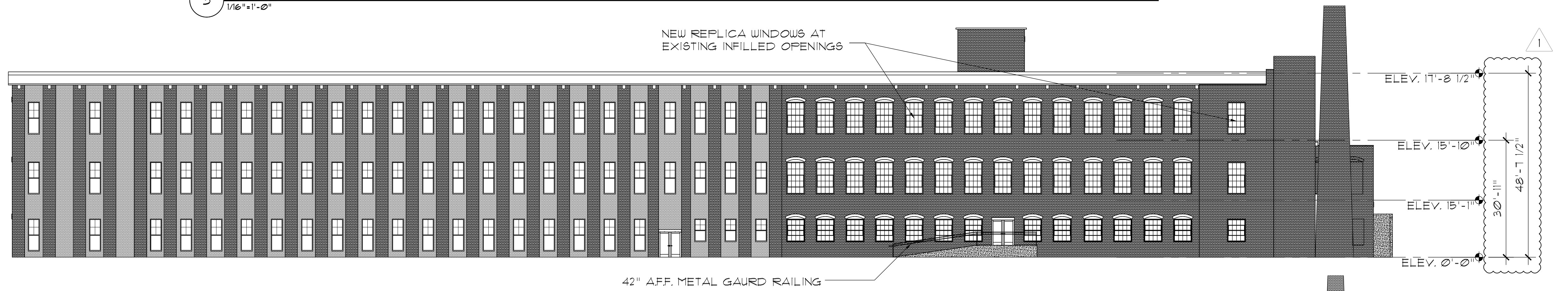
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18. FOLLOWING ANY DEMOLITION AND/OR REMOVAL, PATCH AND REPAIR ALL EXISTING DISTURBED SUBSTRATES AND FINISHES TO MATCH EXISTING SUBSTRATES AND FINISHES, OR PREPARE EXISTING ADJACENT CONSTRUCTION TO ACCOMMODATE NEW CONSTRUCTION AND SCHEDULED FINISHES.
19. PREP ALL WALLS, FLOORS, AND CEILINGS FOR NEW FINISH AND PAINTS.
20. REMOVE ALL EXISTING ROOFING.
21. REPLACE ROOFING WITH NEW EPDM OR TPO. CHECK AND REPLACE ALL DAMAGED SUBSTRATE. REPLACE ALL PARAPET FLASHING, PIPE FLASHING, AND OTHER APPURTENANCES ASSOCIATED WITH ROOFING. 30-YEAR ROOFING WARRANTY.
22. SURVEY THE ROOF BEFORE THE START OF WORK OR BIDDING, AND REQUEST CLARIFICATION OF ANY QUESTION OR DISCREPANCIES FROM THE ARCHITECT BEFORE THE START OF WORK.
23. REMOVE ALL "RUST AND CORROSION, FROM DOOR, WINDOW, PIPE COLUMNS, LINTELS. CLEAN, PRIME, AND REPAINT STEEL LINTELS.
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25. GUTTER SIZES SHALL BE CALCULATED BY CONTRACTOR ACCORDING TO DESIGN CRITERIA BY A.H.J. SUBMIT CALCULATION TO ARCHITECT WITH ROOFING SHOP DRAWINGS. INSTALL GUTTERS WITH ADEQUATE SLOPE TO PROVIDE POSITIVE DRAINAGE TO DOWNSPOUTS. PROVIDE GALVANIZED BRACKETS MATCHING DOWNSPOUT COLOR. PROVIDE GALVANIZED METAL (OR SIMILAR) LEADER TO DRAIN TILE BELOW GRADE OR PER CIVIL DRAWINGS.
26. REMOVE ALL VEGETATION GROWING ON BUILDING.
27. REMOVE ALL GRAFFITI, ATTACHED PLYWOOD AND FASTENERS, OR MATERIAL NOT CONGRUENT OR ARCHITECTURALLY PART THE STRUCTURE, FACADE, OR SITE.
28. ALL ITEMS OF HISTORIC VALUE ON SITE SHALL REMAIN UNCHANGED OR MODIFIED. CONTACT THE ARCHITECT IF QUESTION ARISE AS TO THE HISTORIC VALUE OF AN ITEM OR ANY COMPONENT. DIGITAL PICTURES ARE TO BE TAKEN OF ALL HISTORIC ITEMS FOR OWNERS USE. EXAMPLE: WINDOWS ARE TO REMAIN UNLESS BLOCKING NEW WORK.
29. REMOVE EXISTING METAL SIDING, REPLACE WITH NEW 40 YR. WARRANTED METAL SIDING. PER QAP APPENDIX 1-THRESHOLD CRITERIA SECTION.



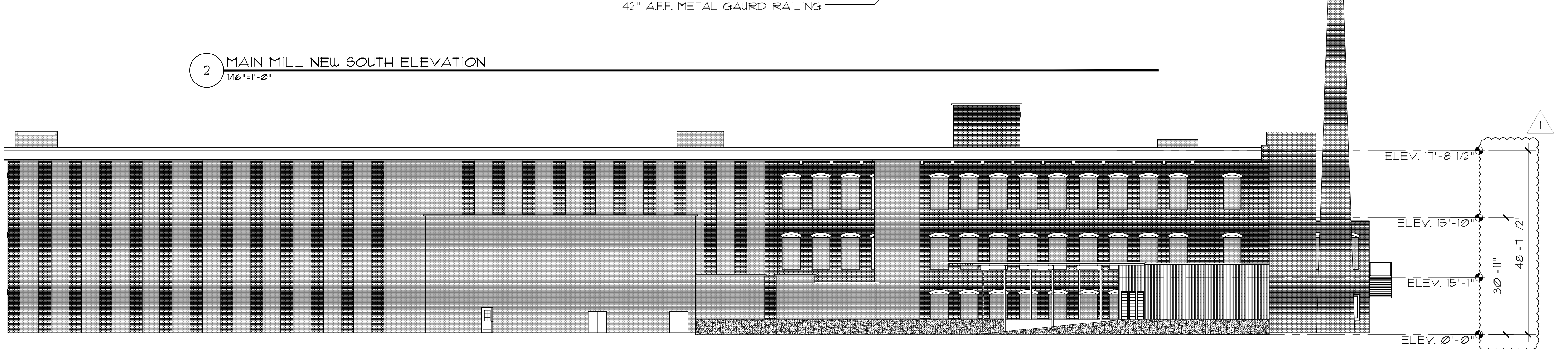
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3 MAIN MILL EXISTING NORTH ELEVATION
1/16"=1'-0"



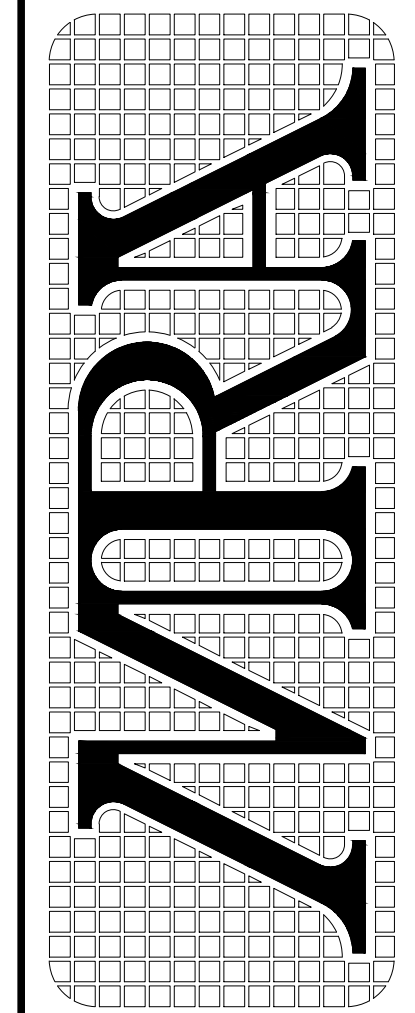
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1/16"=1'-0"



1 MAIN MILL EXISTING SOUTH ELEVATION
1/16"=1'-0"

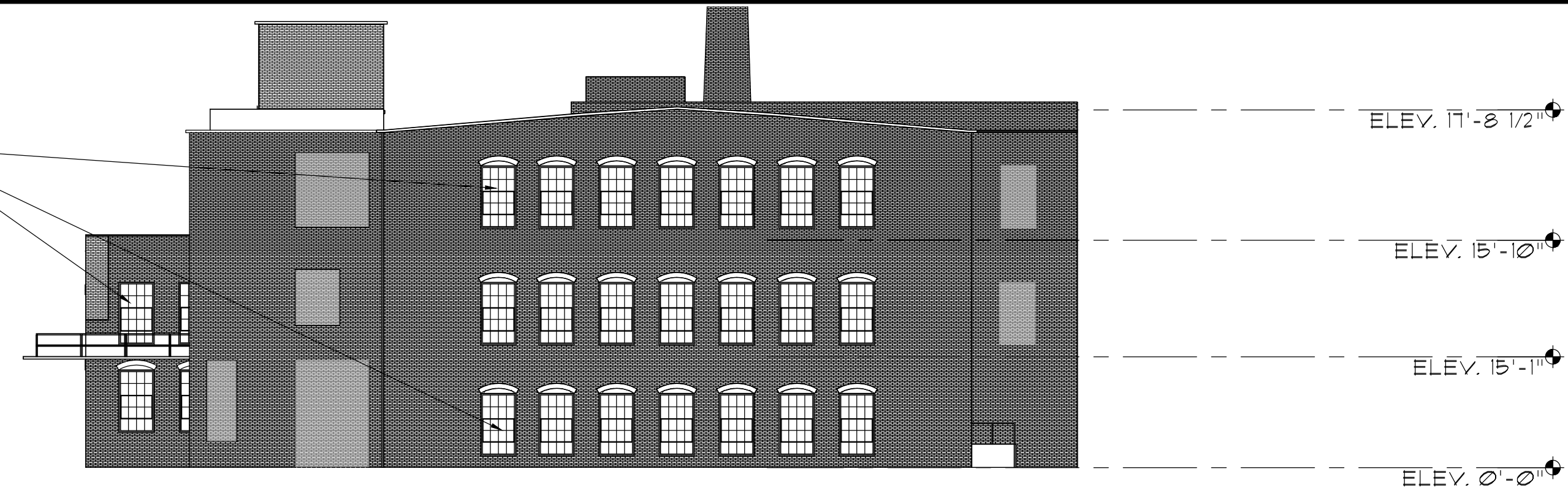


MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
 215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-375-2800
COLEMAN MILL APARTMENTS
 CONCORD, NC

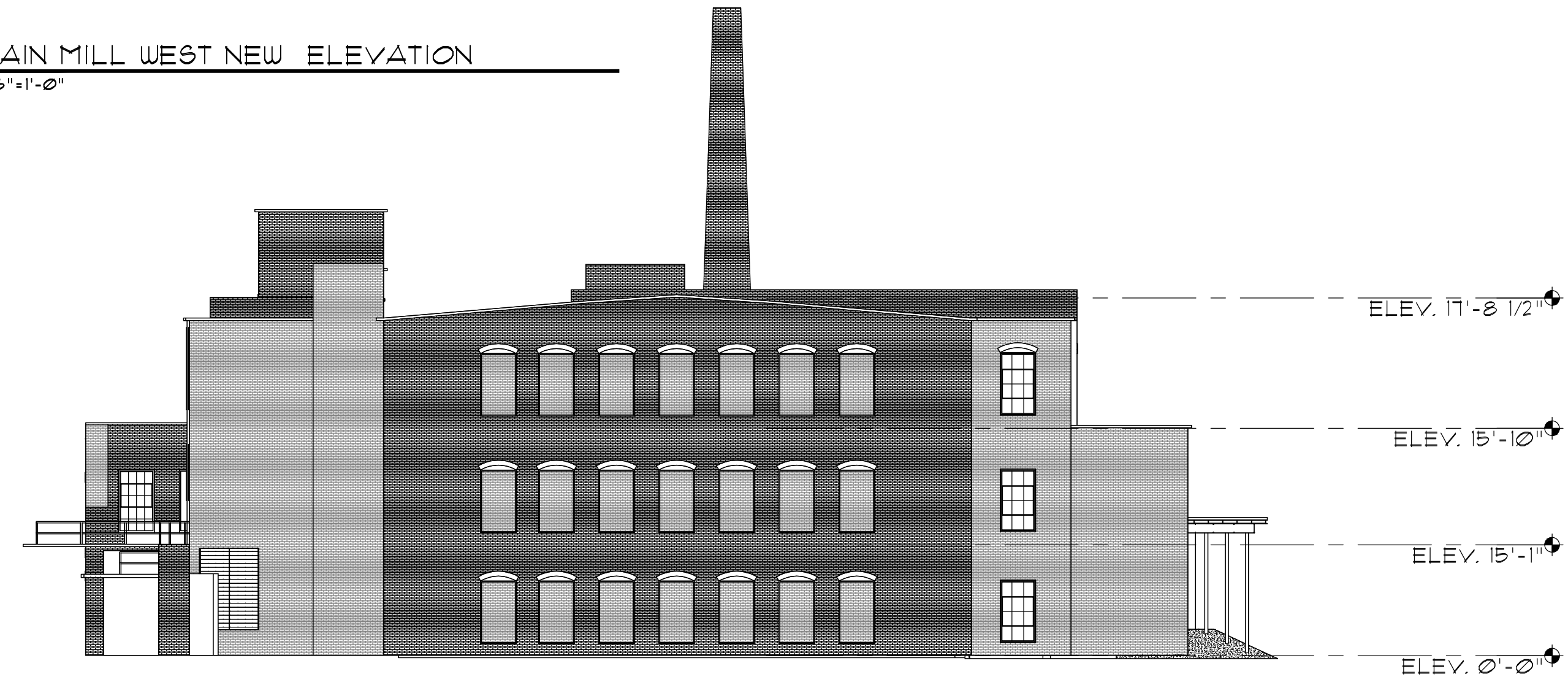


A3.01

NEW REPLICA WINDOWS AT
EXISTING INFILLED OPENINGS

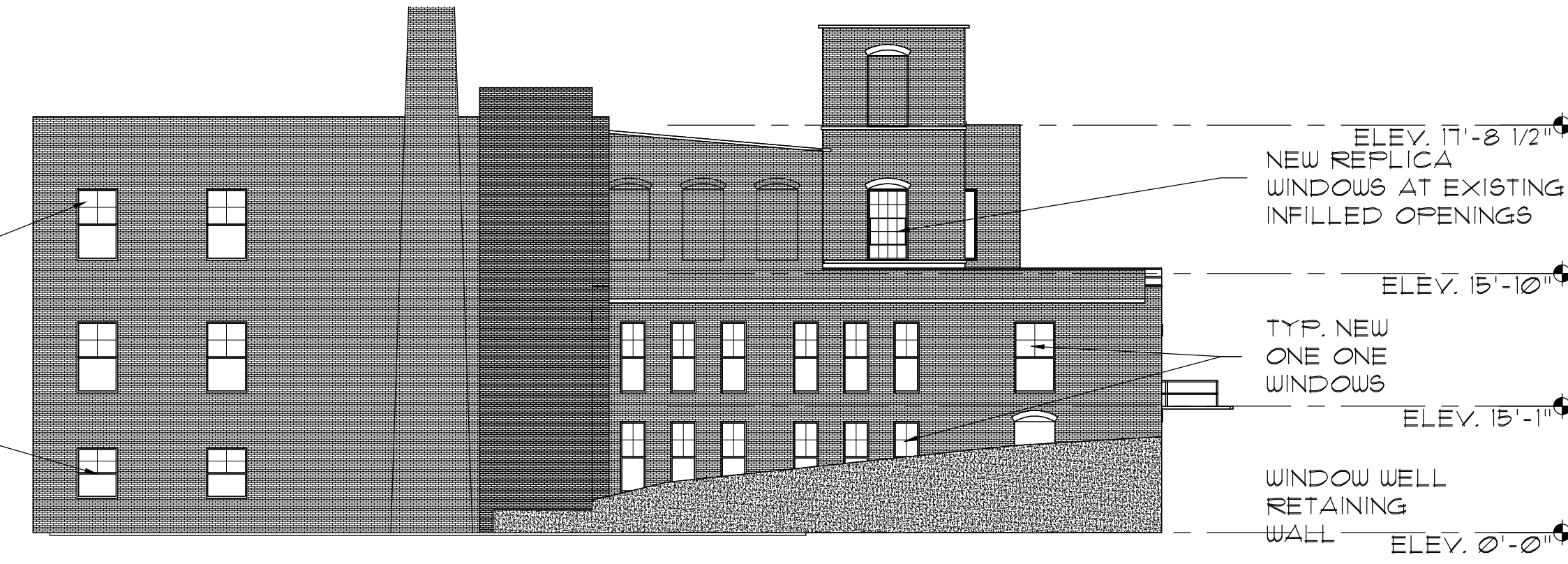


4 MAIN MILL WEST NEW ELEVATION
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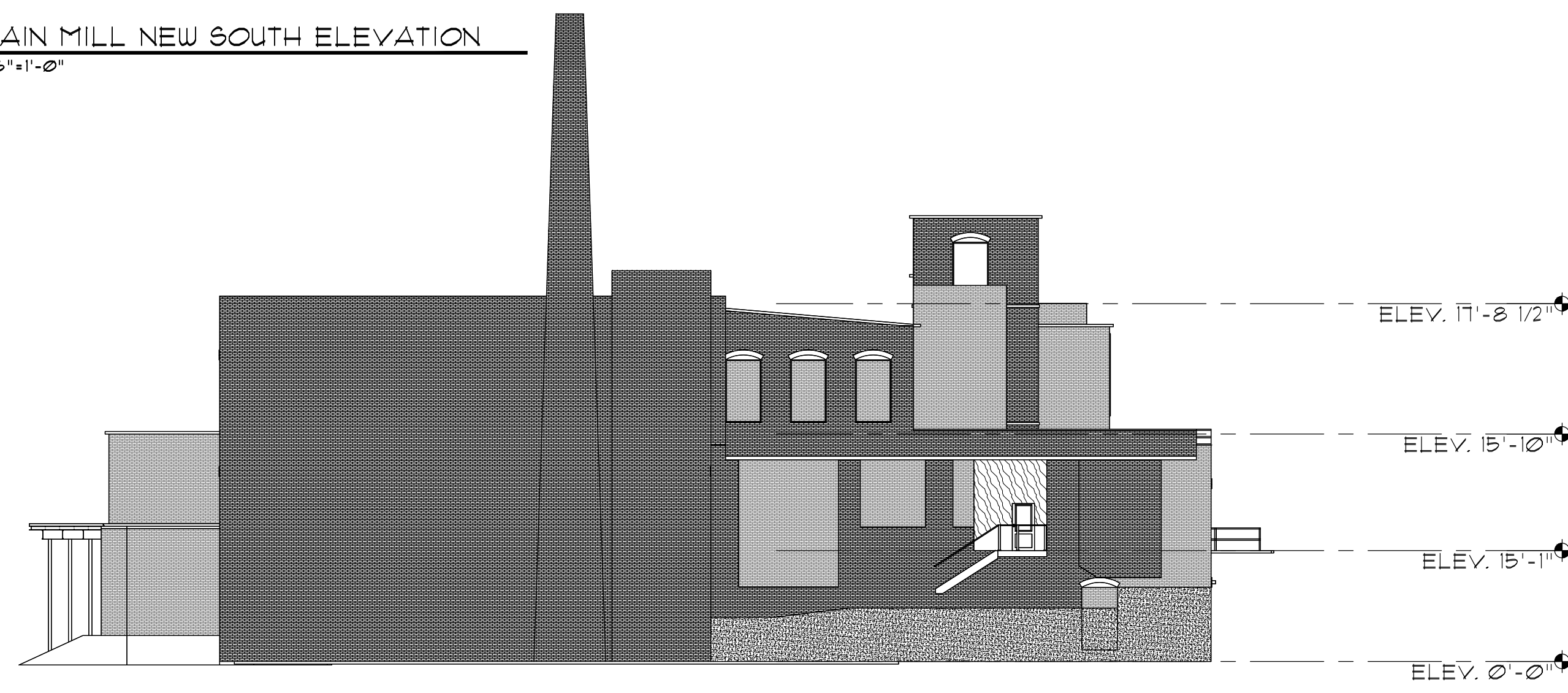


3 WEST MAIN MILL EXISTING ELEVATION
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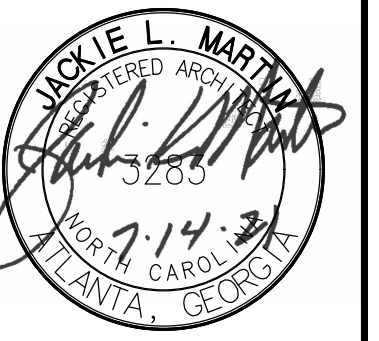
TYP. NEW
4/1
WINDOWS



2 MAIN MILL NEW SOUTH ELEVATION
1/16"=1'-0"

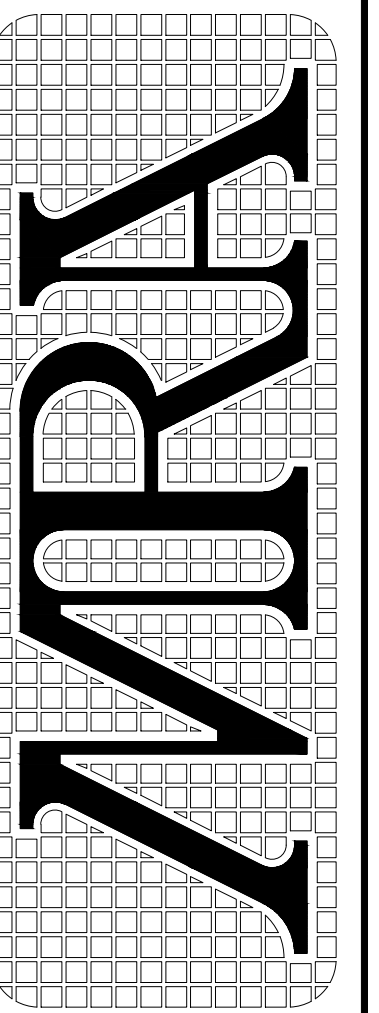


1 MAIN MILL EAST EXISTING ELEVATION
1/16"=1'-0"



MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800

COLEMAN MILL APARTMENTS
CONCORD, NC

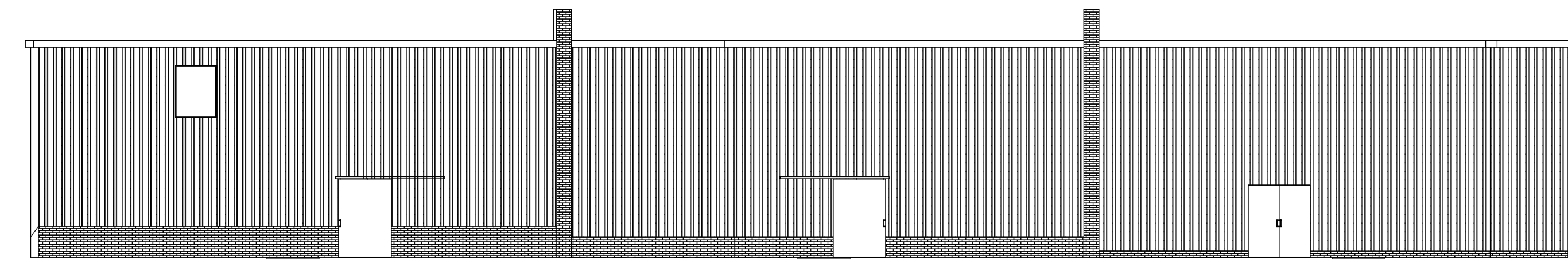


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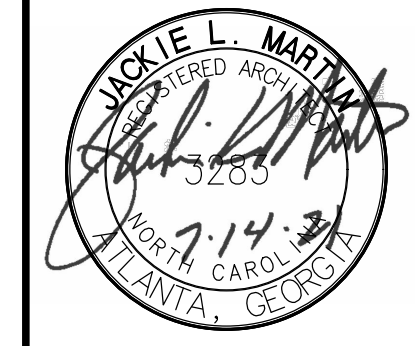
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| DATE | 7-14-21 |
| DRAWN BY / CHECKED BY | LBG |

REVISIONS

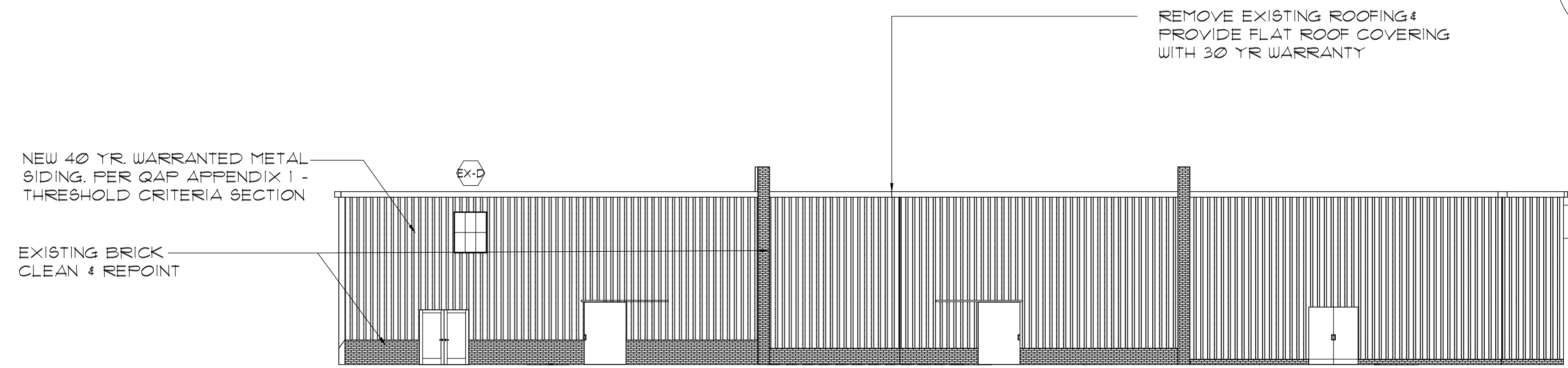
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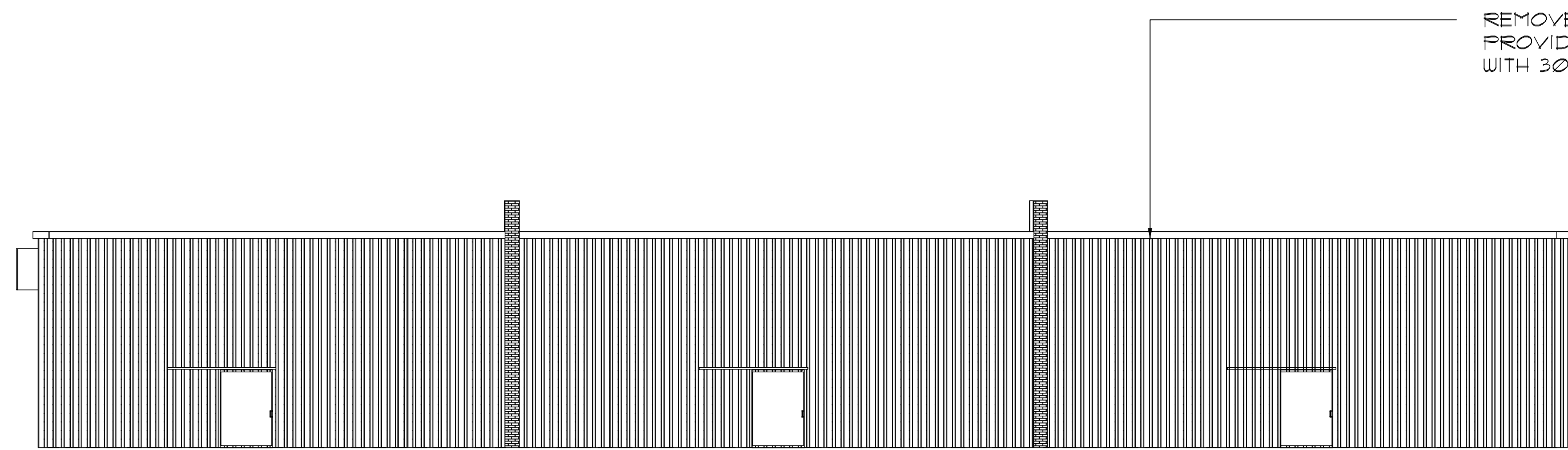
4 EAST WAREHOUSE - EXISTING WEST ELEVATION
3/32"=1'-0"



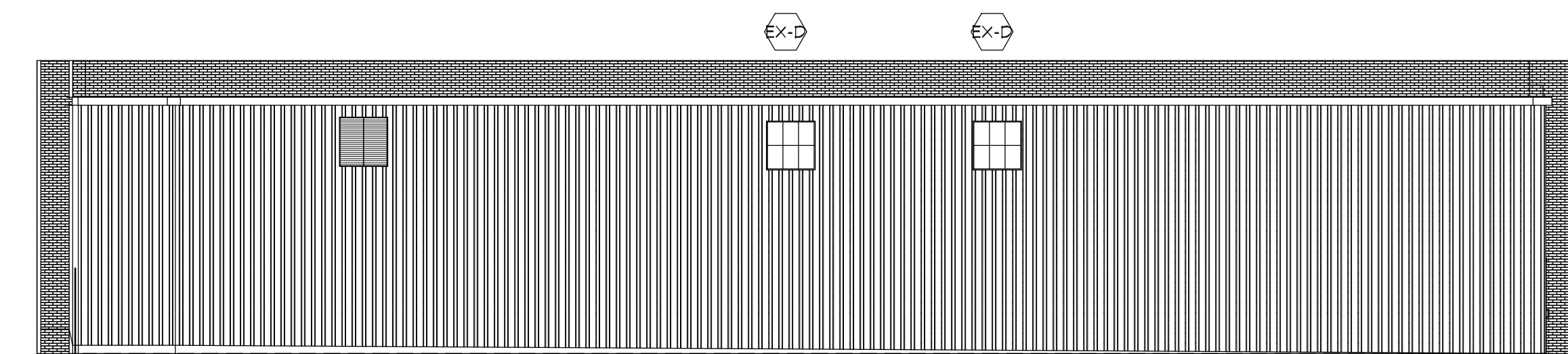
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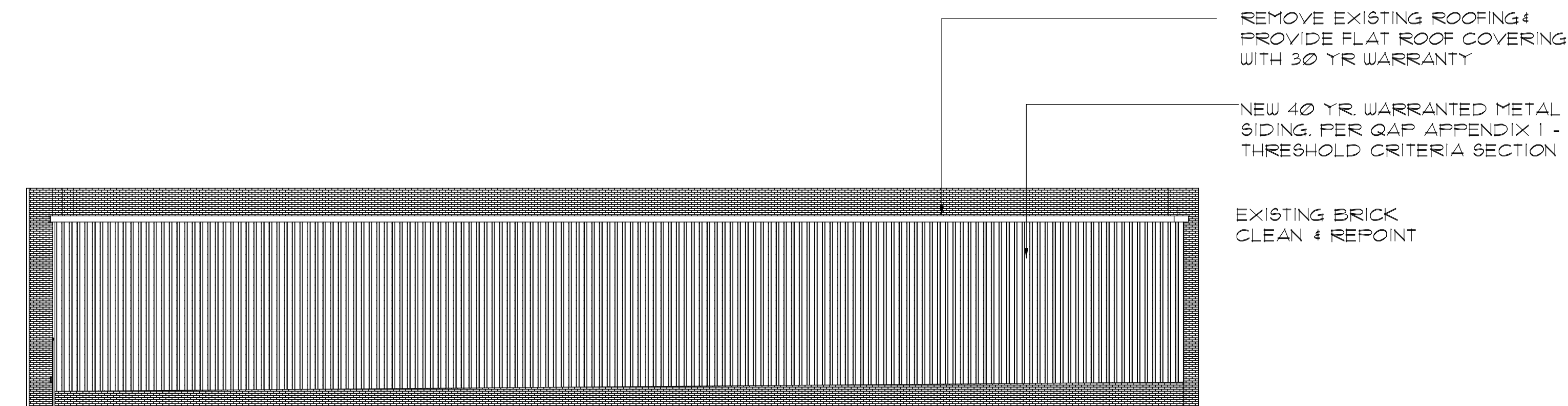
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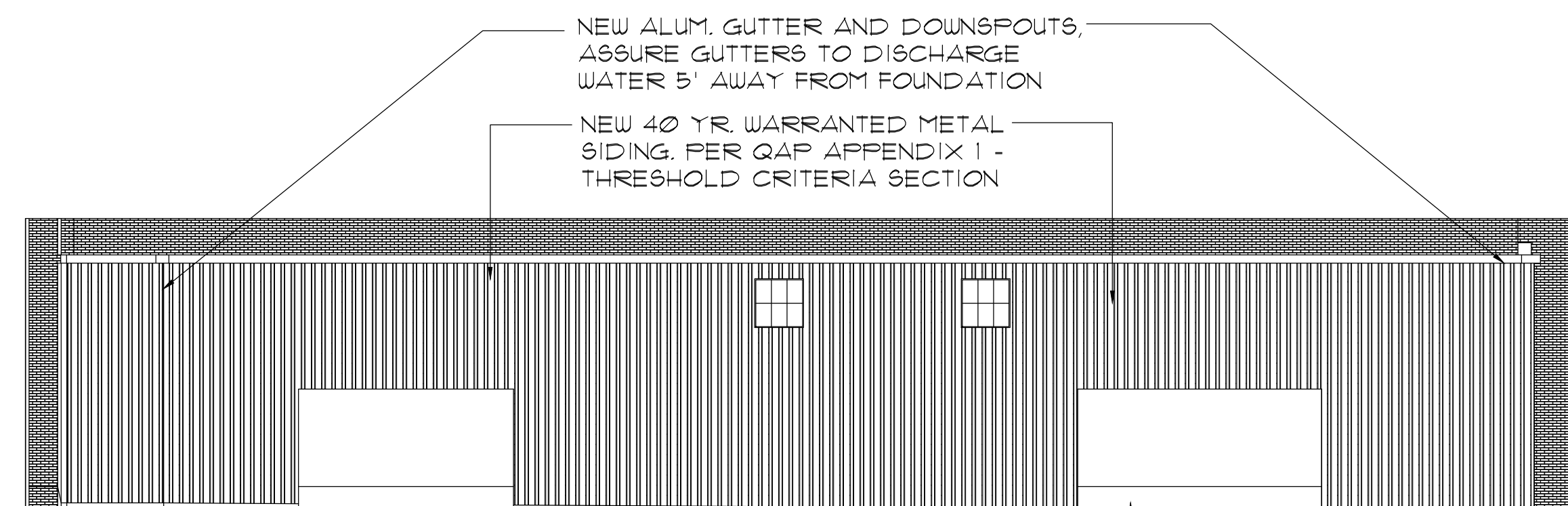
6 EAST WAREHOUSE - EXISTING & NEW EAST ELEVATION
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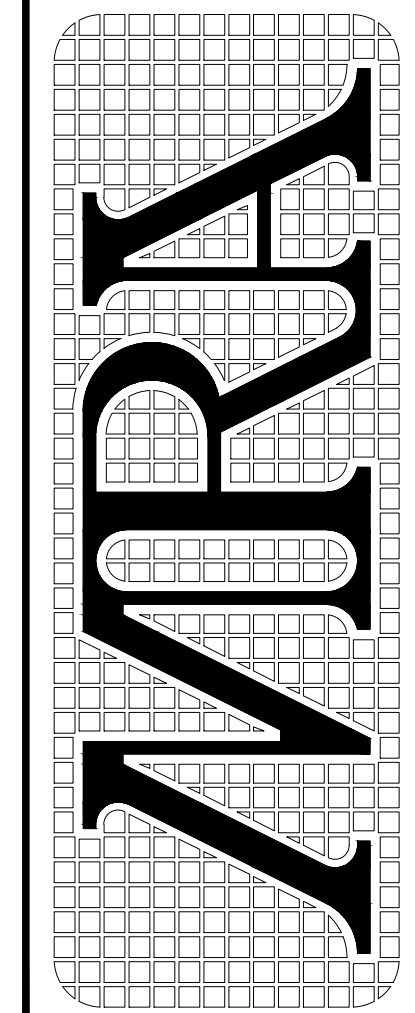
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5 EAST WAREHOUSE - EXISTING & NEW NORTH ELEVATION
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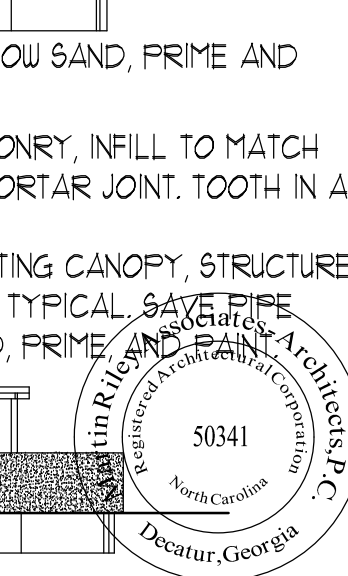
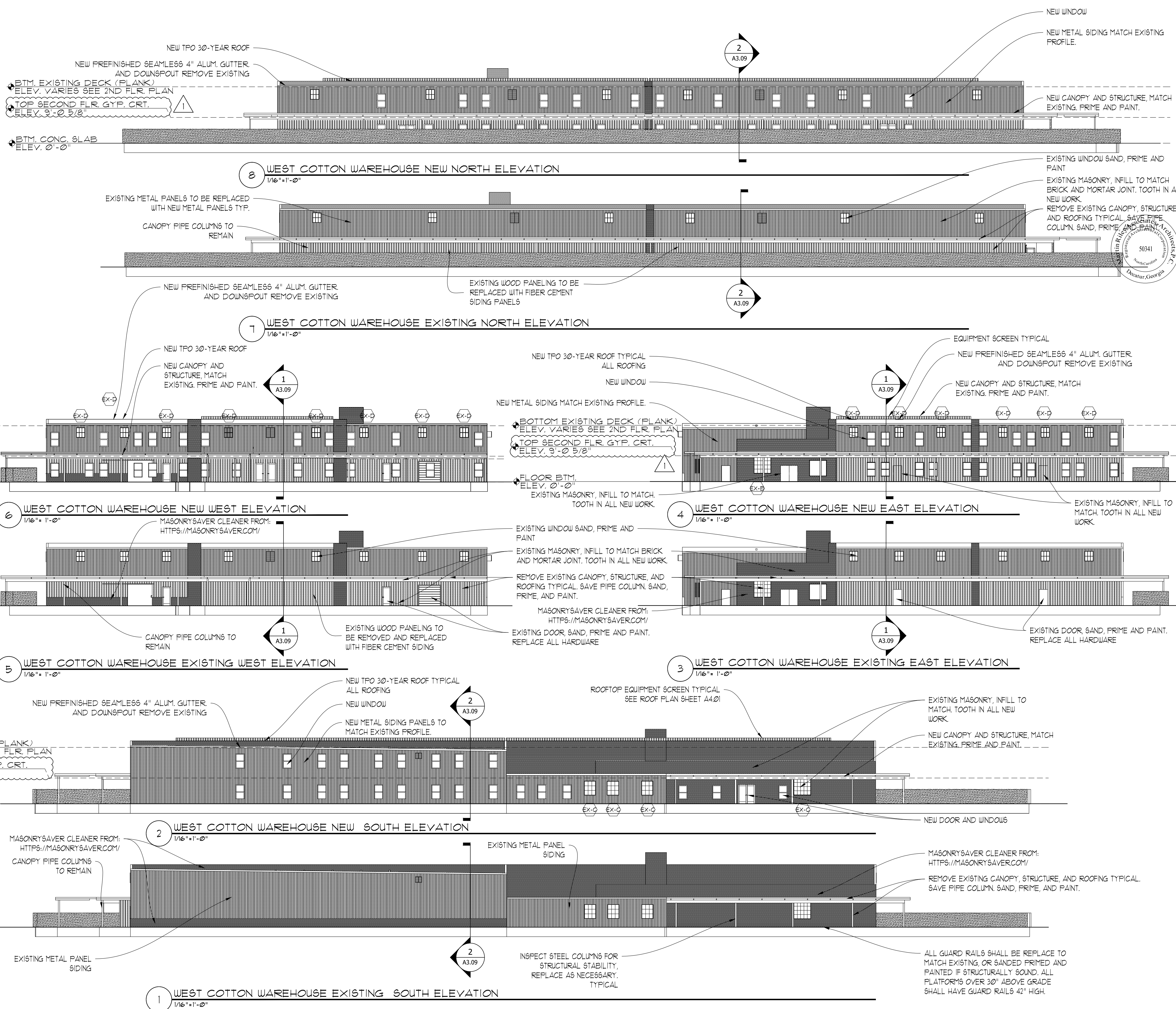


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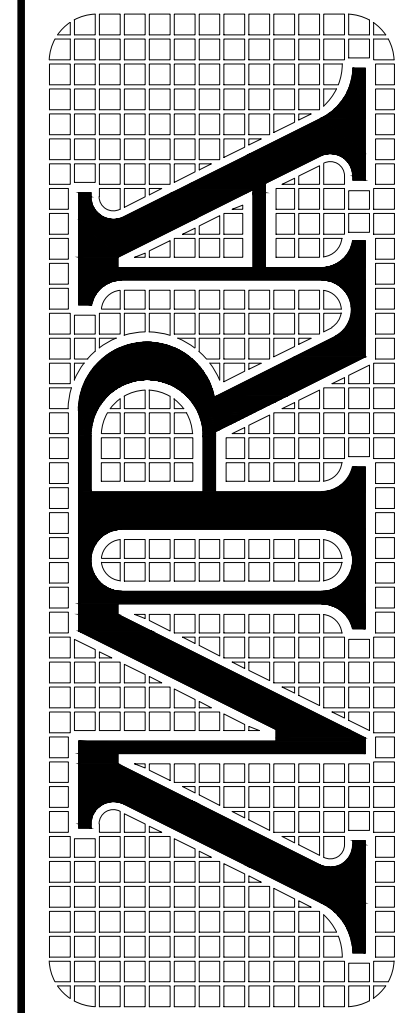
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22. SURVEY THE ROOF BEFORE THE START OF WORK OR BIDDING, AND REQUEST CLARIFICATION OF ANY QUESTION OR DISCREPANCIES FROM THE ARCHITECT BEFORE THE START OF WORK.
23. REMOVE ALL "RUST AND CORROSION. FROM DOOR, WINDOW, PIPE COLUMNS, LINTELS. CLEAN, PRIME, AND REPAINT STEEL LINTELS.

24. IF MASONRY WORK IS IDENTIFIED BY THE CONTRACTOR FOR REPAIR, TOOTH IN NEW WORK. MATCH BRICK AND/OR MORTAR WITH EXISTING. SUBMIT COLOR SAMPLES FOR BRICK AND MORTAR. GUTTER SIZES SHALL BE CALCULATED BY CONTRACTOR ACCORDING TO DESIGN CRITERIA BY AHJ. SUBMIT CALCULATION TO ARCHITECT WITH ROOFING SHOP DRAWINGS. INSTALL GUTTERS WITH ADEQUATE SLOPE TO PROVIDE POSITIVE DRAINAGE TO DOWNSPOUTS. PROVIDE GALVANIZED BRACKETS MATCHING DOWNSPOUT COLOR. PROVIDE GALVANIZED METAL (OR SIMILAR) LEADER TO DRAIN TILE BELOW GRADE OR PER CIVIL DRAWINGS.
25. REMOVE ALL VEGETATION GROWING ON BUILDING.
26. REMOVE ALL GRAFFITI, ATTACHED PLYWOOD AND FASTENERS, OR MATERIAL NOT CONGRUENT OR ARCHITECTURALLY PART THE STRUCTURE, FACADE, OR SITE.
27. ALL ITEMS OF HISTORIC VALUE ON SITE SHALL REMAIN UNCHANGED OR MODIFIED. CONTACT THE ARCHITECT IF QUESTION ARISE AS TO THE HISTORIC VALUE OF AN ITEM OR ANY COMPONENT. DIGITAL PICTURES ARE TO BE TAKEN OF ALL HISTORIC ITEMS FOR OWNERS USE. EXAMPLE: WINDOWS ARE TO REMAIN UNLESS BLOCKING NEW WORK.
28. REMOVE EXISTING METAL SIDING, REPLACE WITH NEW 40 YR. WARRANTED METAL SIDING. PER QAP APPENDIX 1-THRESHOLD CRITERIA SECTION.



MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
 215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-375-2800
COLEMAN MILL APARTMENTS
 CONCORD, NC



A3.08

Residential

Amhurst Subdivision (PRS2021-01931)

502 Amhurst St SW.

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|-------------|----------------------|
| 6/28/2021 | 11/15/2021 | 41 SFR Lots | Yes 11/24/21 |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|-------|------|------|------|
| 9360 | 9360 | | |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|-----------------|--------------------|--------------------|----------------------|----------------|------------------------------------|--------|-------|
| 0 | 0 | 0 | 1 | 0 | 1 | 0 | 2 |

Brief Summary

41 single family detached residences on Amhurst Street. The property was voluntarily annexed on December 10, 2020. Rezoning case Z(CD) 24-20 was recommended by Planning and Zoning Commission on February 18, 2021 as part of a larger horizontal mixed use with industrial outparcels that front on Zion Church Rd, and City Council approved the land use plan amendment and zoning map amendment on March 11, 2021.

The preliminary plat was approved on December 8, 2021.

Outstanding Items

None.

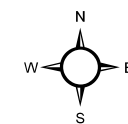
Amhurst
(PRS2021-01931)

41 Single Family Detached

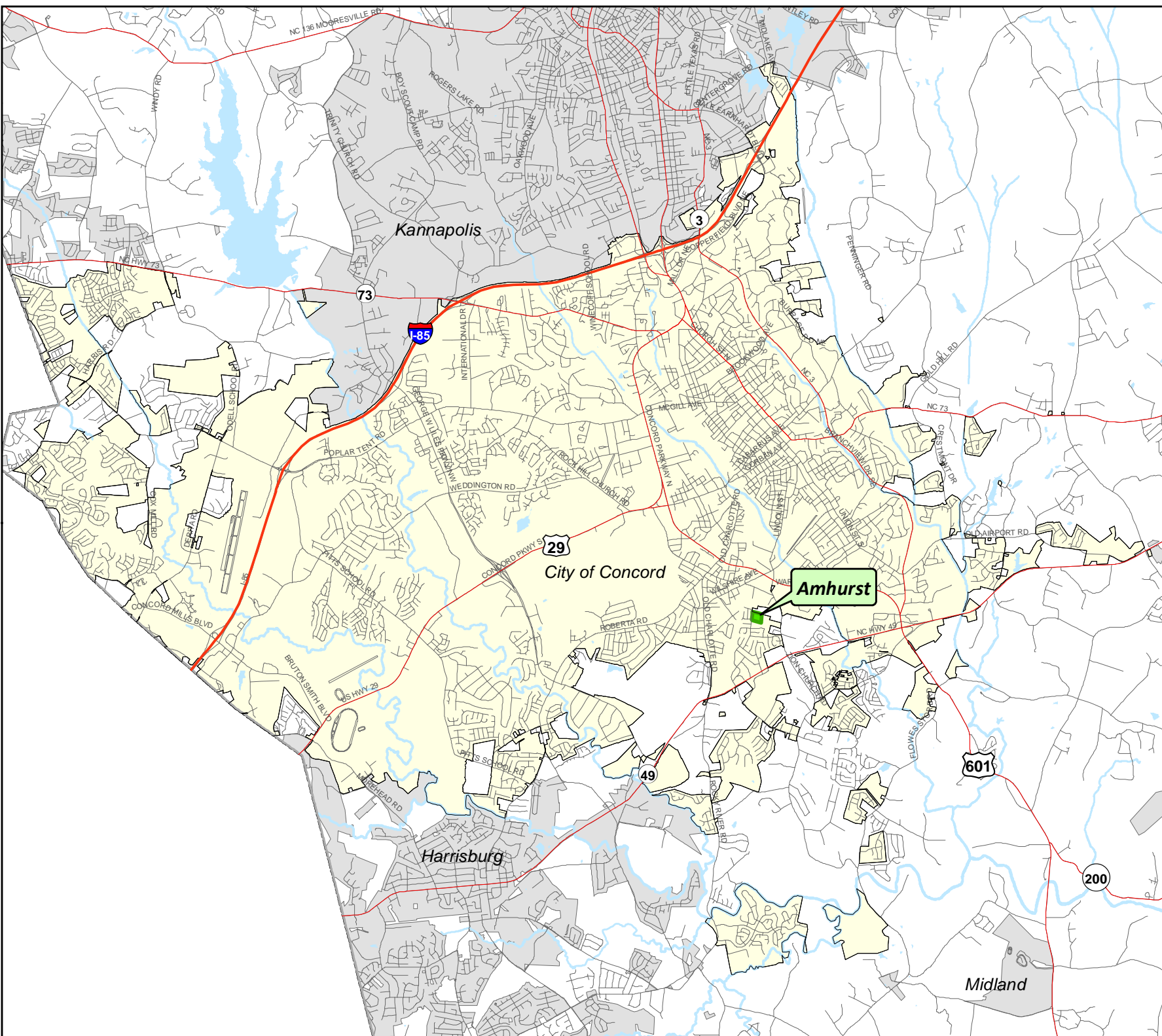
Allocation Request:
9,360

Project Scoring: 2

- Amhurst
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.



0 0.5 1
Miles



Narrative for Sewer Allocation Application to Concord City Council

Project: Amhurst Subdivision
Approval: Accela # PRS2021-01931

Description: Residential subdivision on approximately 10.00 acres
Location: 502 AMHURST ST. SW, CONCORD, NC 28026
Zoning: RC-CD (Residential Compact-Conditional District)
Number of lots: 39
Type of housing: Single family houses on 50' x 100' lots
Price point: Estimated late \$200's to mid \$300's

Engineer: CESI led by Kate Underwood
Applicant: Frank Shepherdson as owner of Monroe 3124 Inc.

1. BACKGROUND

The Planning and Zoning Commission heard case Z(CD)-24-20 at their February 16th and 18th meetings and unanimously voted to approve amending the zoning map to RC-CD (Residential Compact-Conditional District) for the Amhurst Subdivision project. This annexation and rezoning incorporated the property into the City limits, and re-zoned. This rezoning included both the RC-CD district for Amhurst Subdivision, and a larger tract for future industrial development within the City of Concord limits.

In October 2021 the design was approved subject to sewer allocation for the 39 lot residential subdivision.

2. DESIRABILITY

In the recommendation for annexation that the City planners presented to City County, the development report stated:

The plan demonstrates a minimum lot size of 5,000 sf., which is consistent with the dimensional standards for the Residential Compact (RC) zoning district. The proposal also includes a 50 ft wide undisturbed landscape buffer along the newly proposed eastern property line, where the proposed development abuts the proposed industrial (I-1) component. A preliminary grading plan has also been submitted, demonstrating that the lots can be created without encroaching into the undisturbed buffer. This buffer, combined with the required 50ft wide (or 25' wide with

a 6' berm) Type "D" landscape buffer on the proposed industrial zoned parcel, would provide a 75ft to 100ft wide landscaped barrier between the two uses.

3. NEED FOR AFFORDABLE HOUSING

The 2020 Cabarrus County needs assessment states that "the top three priorities ... identified through this Community Health Needs Assessment process ...are" 1. Housing, 2. Mental and Behavioral Health, and 3. Early Childhood education and Development." Furthermore, the Concord Affordable Housing Study 2019 stated that understanding the demographics of a community is key to understanding where development must occur.

Between 2018 and 2023 the population will grow from 89,501 to 99,604.

The City of Concord is facing a housing market dilemma. Much of the available housing is not affordable to low- and moderate-income households and working families whose housing costs amount to 30% or more of their incomes. With the anticipated population growth in this area the direct impact of insufficient housing will be increased home prices, further adversely impacting the housing security in the region.

This project directly addresses this primary need for the county with proposed affordable housing development with economically responsible housing that could be available to the community as early as Fall of 2022, pending sewer allocation. The nature of development is such that delay of sewer allocation for this project will adversely impact the cost of development. Increasing the permitting time will push out construction, leading to larger carrying costs and materials costs that will in turn be incorporated into the cost of each home. Therefore, in the interest of providing entry-level low-cost homes to meet the primary county need of affordable housing, this project should be prioritized to get sewer allocation as quickly as possible to avoid unnecessary cost increases caused by delays.

4. CONCLUSION

Several regional and national builders have expressed an interest in building affordable homes on this property, but all require full approval. The application was ready for presentation to WASSAC prior to the new ordinance but was withheld. We respectfully request expedited approval of sewer allocation.

Residential

Villas at Rocky River (PRS2021-00151)

1054 Drake Mill Ln

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|----------------|----------------------|
| 1/15/2021 | 11/23/2021 | 272 apartments | Yes 11/23/21 |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|-------|-------|-------|-------|
| 46400 | 12000 | 12000 | 22400 |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|-----------------|--------------------|--------------------|----------------------|----------------|------------------------------------|--------|-------|
| 0 | 0 | 0 | 1 | 0 | 1 | 0 | 2 |

Brief Summary

This site plan is for 272 apartments and 5 commercial outparcels. Preliminary plat approved 10/26/21. Zoning case Z(CD)06-20 amended the density entitlements for the site February 18, 2021 that had previously been in place since 2005/2006.

This project along with the BP-Mills at Rocky River, and Mills at Rocky River Townhomes are also working on roadway improvements along Holden Ave and Holden Ave at Griffin's Gate that will include the installation of a roundabout and additional turning motions. The roadway improvements have been approved for construction. The BP-Mills at Rocky River is dependent on the non-residential portion of the Villas at Rocky River for stormwater control.

Outstanding Items

None.



Villas at Rocky River Residential

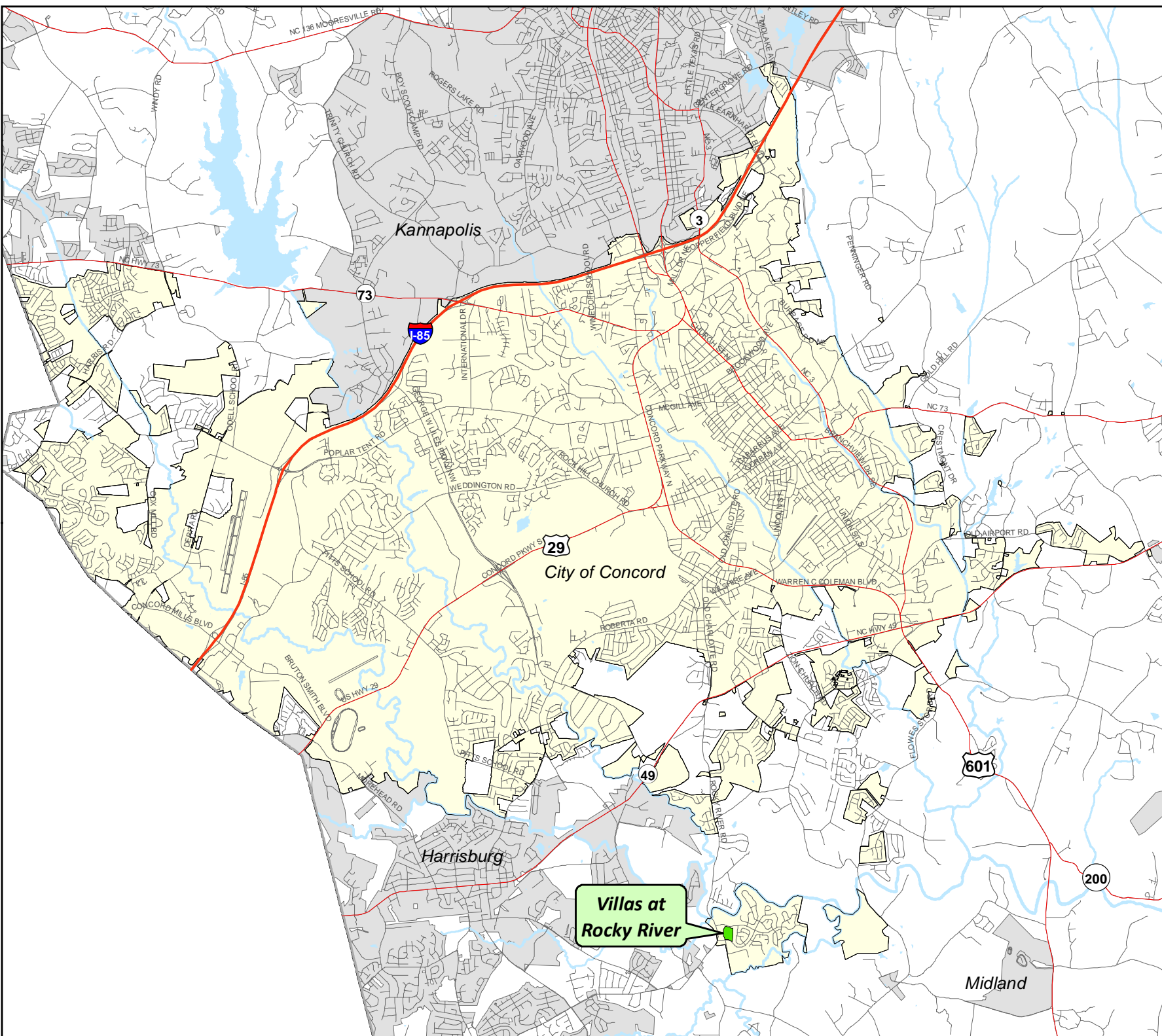
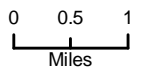
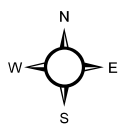
(PRS2021-00151)

272 Apartments

Allocation Request:
46,400

Project Scoring: 2

- Villas at Rocky River
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.





PRELIMINARY WASTEWATER FLOW APPLICATION

INSTRUCTIONS FOR FORM: PWWF-2021

The City of Concord Preliminary Wastewater Flow Application is to be completed for any residential, commercial, and/or industrial site development projects requiring a permit based upon 15A NCAC Subchapter 2T rules and the Water and Sewer Authority of Cabarrus County sewer allocation and commitment policy.

A DIGITAL COPY OF THE COMPLETED APPLICATION PACKAGE, SUPPORTING INFORMATION AND MATERIALS, SHOULD BE UPLOADED TO ACCELA ONLINE PORTAL IN THE APPLICABLE ACCELA CASE AT <https://accela1.cabarruscounty.us/CitizenAccess/> , UNLESS OTHERWISE SPECIFIED.

SUPPORTING INFORMATION AT A MINIMUM NEEDS TO INCLUDE A PROJECT NARRATIVE.

The narrative should include any and all information the applicant wants City Council to consider when evaluating the project for flow allocation. In general, the narrative should be a description of the project, including project data (zoning, number of lots, type of housing or business), price points for homes or investment for business, and any sustainability components of the plan (ie walking trails, water conservation, green building practices, operational aspects of business such as waste reduction, recycling, etc).

| | |
|--|--|
| <p><u>For Accela Case Inquiries, Contact:</u></p> <p>CITY OF CONCORD Planning & Neighborhood Development- Zoning Services Post Office Box 308 Concord, North Carolina 28026-0308 Telephone Number: (704) 920-5152</p> | <p><u>For Engineering Design Inquiries, Contact:</u></p> <p>CITY OF CONCORD Engineering Department Post Office Box 308 Concord, North Carolina 28026-0308 Telephone Number: (704) 920-5425</p> |
|--|--|



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

| | |
|---|--|
| TO BE COMPLETED BY THE CITY OF CONCORD | |
| Planning Case No: | |
| Engineering Project No: | |
| ATC No: | |

| | | | | | | |
|---|---|---|--|--|--|------------------|
| A. Project Information | 1.) | Project Title: | The Villas at Rocky River | | | |
| | 2.) | Description of project location: | Site located on Holden Avenue 500-ft East of intersection of Rocky River Road and Holden Avenue. <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small> | | | |
| | 3.) | Cabarrus County Parcel Identification Number: | 55275218310000 | 3a.) | Parcel Acreage: | 23.08+/- |
| | 4.) | Site Zoning and use: | PUD/Mixed-Use | 5.) | Area Commercial or Industrial Building | (sq. ft.) 44,447 |
| | 6a.) | Description of Facility to be served: | MF/Commercial | 6b.) | Number of Lots | |
| | 6c.) | | | 6c.) | Number of Units | 272 |
| | 7d.) | Additional description information: | 272 Apartments and 44, | | | |
| B. Applicant Information | Thomas Holderby | | Member | | 1034 Finnwood Drive | |
| | <small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small> | | | | <small>(Applicant's Street or Box Number)</small> | |
| | Villas at Rocky River, LLC | | Whitsett, NC 27377 | | | |
| | <small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small> | | | | <small>(Applicant's City, State, Zip Code)</small> | |
| | (336) 449-4906 | | N/A | | | |
| | <small>(Applicant's Phone Number)</small> | | | | <small>(Applicant's Facsimile Number)</small> | |
| | Nicholas R. Parker | | nrparker@amicuseng.com | | ttommy27320@yahoo.com | |
| <small>(Name with Title and Email of contact person, who can answer questions about application)</small> | | | | <small>(Applicant's Email Address)</small> | | |
| REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner. | | | | | | |
| C. Design Engineer Information if available | Nicholas R. Parker | | Amicus Partner, PLLC | | | |
| | <small>(Typed name of North Carolina Professional Engineer)</small> | | | | <small>(Company Name)</small> | |
| | 032006 | | 30 Union Street South | | | |
| | <small>(NCPE Registration Number)</small> | | | | <small>(Street or Box Number)</small> | |
| | (704) 573-1621 | | Concord, NC 28025 | | | |
| | <small>(Phone Number)</small> | | | | <small>(City, State, Zip Code)</small> | |
| Nicholas R. Parker - Engineer | | nrparker@amicuseng.com | | | | |
| <small>(Name and affiliation of contact person, who can answer questions about application & designs)</small> | | | | <small>(Engineer's Email Address)</small> | | |

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

| | | | |
|-------------------------------------|--|-------------------------------------|-----------------------------------|
| <input type="checkbox"/> | Residential Subdivision | <input type="checkbox"/> | Retail (Stores, shopping centers) |
| <input checked="" type="checkbox"/> | Apartments/Condominiums | <input type="checkbox"/> | Institution |
| <input type="checkbox"/> | Mobile Home Park | <input type="checkbox"/> | Hospital, nursing home, dental |
| <input checked="" type="checkbox"/> | School, preschool, daycare | <input type="checkbox"/> | Church |
| <input checked="" type="checkbox"/> | Restaurants (Food or drink facilities) | <input type="checkbox"/> | Sports Centers |
| <input type="checkbox"/> | Hotels or motels | <input checked="" type="checkbox"/> | Business, offices, factories |
| <input type="checkbox"/> | Other (specify): _____ | | |

2.) The type of wastewater is (indicate percentage):

| | |
|----|-----------------------------|
| 74 | % Domestic |
| 26 | % Commercial |
| | % Industrial |
| | % Other use (Specify) _____ |

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 46,850 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

[Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.]

| Established Type (See 02T.0114(f)) | Daily Design Flow (a, b) | No. of Units | Flow |
|------------------------------------|-------------------------------|--------------|-------------------|
| 1 bedroom unit | 160 gal/ day/unit | 48 | GPD 7,680 |
| 2 bedroom unit | 160 gal/ day/unit | 188 | GPD 30,080 |
| 3 bedroom unit | 240 gal/ day/unit | 36 | GPD 8,640 |
| Day Care | 25 gal/ day/child or employee | 112 | GPD 2,800 |
| Market/Brewery | 40 gal/ day/seat | 295 | GPD 11,800 |
| General Business/Office | 25 gal/ day/employee/shit | 74 | GPD 1,850 |
| | | Total | GPD 62,850 |

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Thomas Holderby, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Thomas S. Holderby
 Signature:

2/3/22
 Date:

January 19, 2022

City of Concord Engineering Department
Alfred M. Brown Operations Center
PO Box 308
Concord, NC 28026-0308



Amicus Partners, PLLC

Attn: M. Sue Hyde, PE
Engineering Director

Reference: **Villas at Rocky River**
Project Narrative:

Dear Ms. Hyde:

On behalf of Green Street Land Co., LLC, Amicus Partners, PLLC (Amicus) is pleased to submit preliminary wastewater flow application and project narrative for the Villas at Rocky River Site to the City of Concord's Engineering Department for the purpose of securing flow allocation.

The Villas at Rocky River Site is located between Drake Mill Lane SW and Holden Avenue SW in Concord, NC. The Cabarrus County parcel ID is 55275237690000. The site is 13.55-acres and is currently zoned PUD. The site is an infill development within the original Mills at Rocky River approved masterplan. The Mills at Rocky River Master Planned Community was approved in 2005 for 1,200 units. Of the approved units, 843 have been built and occupied. This specific project consists of 252 proposed multi-family apartments priced at market value with an average monthly rent of \$1,205. The site will have pedestrian connectivity to Patriots Elementary School, C.C. Griffin Middle School, Hector H. Henry II Greenway, and future shops and restaurants to be located at 1054 Drake Mill Lane. The Preliminary Plat for this project was approved on 10/26/2021 (Accela Case # CN-PLP-2021-00010). Full construction documents have been submitted and are pending sewer allocation for final approval (Accela Case # PRS2021-00151). Erosion Control Plans have been approved by the State of North Carolina NCDEQ on January 13, 20201 and an early grading permit has been issued from the City of Concord on November 29. 2021.

If you have any further questions, please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'N. R. Parker'.

Nicholas R. Parker, PE
Manager
Amicus Partners, PLLC



1.19.22

GENERAL SITE PLAN NOTES:

- ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY. ALL SIGNS MUST MEET THE REQUIREMENTS SET FORTH BY THE CITY OF CONCORD DEVELOPMENT ORDINANCE AND ANY COVENANCE THAT MAY APPLY FOR THE AREA.
- SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3,600 PSI CONCRETE AND SHALL BE 4 INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE 6 INCHES THICK. SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISH AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT INTERVALS OF NOT LESS THAN 5 FEET AND EXPANSION JOINTS AT INTERVALS OF NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF (1/4) INCH PER FOOT.
- ALL PARKING SPACES SHALL BE 9 FT WIDE AND 18 FT DEEP. SUBGRADE FOR PARKING LOT AND LOADING AREAS TO BE COMPACTED TO 100% MAXIMUM DENSITY OBTAINABLE WITH A STANDARD PROCTOR TEST WITHIN THE UPPER 24" AND 95% MAXIMUM DENSITY BELOW 24". SEE THIS SHEET SHEET FOR PAVEMENT REQUIREMENTS IN LOADING AND PARKING AREAS.
- ADDRESS MUST BE POSTED IN VISIBLE LOCATION WITH 6-INCH NUMBERS.
- PER CITY OF CONCORD CDD SECTION 7.10.4 - HVAC AND SIMILAR TYPES OF INCIDENTAL MACHINERY OR EQUIPMENT SHALL BE SCREENED FROM VIEW OR LOCATED IN SUCH A MANNER AS TO NOT BE VISIBLE FROM THE STREET. TRASH RECEPTACLES, DUMPSTERS, UTILITY METERS, ABOVE-GROUND TANKS, SATELLITE DISHES, AND ANTENNAS SHALL BE SIMILARLY SCREENED.
- ALL MEASUREMENTS ARE TAKEN FROM EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- TRASH SHALL BE CONTAINED IN DUMPSTER. DUMPSTER PAD SHALL BE 6" CONCRETE REINFORCED WITH WELDED WIRE FABRIC.
- ALL DRIVES AND ISLEWAYS SHALL HAVE HEAVY DUTY PAVEMENT. FOR PAVEMENT SPECIFICATIONS, SEE DETAIL ON THIS SHEET.
- ALL FIBERGLASS MATS FOR THE TRUNCATED DOMES FOR THE ADA RAMPS SHALL BE RED.
- ALL ELECTRICAL INSTALLATIONS MUST COMPLY WITH THE CITY OF CONCORD'S TECHNICAL STANDARDS MANUAL.
- REVIEW AND APPROVAL OF THE PLANS DOES NOT RELIEVE THE OWNER, CONTRACTOR, OR DEVELOPER FROM MEETING THE REQUIREMENTS OF THE CITY OF CONCORD'S OR CABARRUS COUNTY ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, (AS APPLICABLE), WASTE WATER & SEWER POLICIES AND TECHNICAL SPECIFICATIONS, THE "STANDARD SPECIFICATION FOR WASTEWATER COLLECTION & CONCRETE DISTRIBUTION FOR CABARRUS COUNTY (WSACC MANUAL) AND ANY OTHER LOCAL, STATE, AND FEDERAL REGULATIONS & APPROVALS."
- RETAINING WALLS, SCREENING WALLS, AND DECORATIVE WALLS WILL BE CONSTRUCTED OF MATERIALS/COLORS CONSISTENT WITH THE PRINCIPLE BUILDING ON SITE. THE GATE WILL BE OPAQUE USING METAL OR SIMILAR MATERIALS.
- ANY EXTERIOR LIGHTING SHALL BE INSTALLED PRIOR TO CURB AND PAVING (IF APPLICABLE).

| CURVE | LENGTH | RADIUS | BEARING |
|-------|---------|---------|-------------|
| C1 | 57.13' | 150.00' | N68°10'35"E |
| C2 | 63.67' | 150.00' | N65°40'45"E |
| C3 | 24.77' | 150.00' | N65°40'45"E |
| C4 | 99.92' | 150.00' | N51°49'54"E |
| C5 | 57.34' | 150.00' | N68°05'56"E |
| C6 | 101.09' | 82.50' | N19°47'34"E |
| C7 | 61.18' | 149.00' | N66°28'24"E |
| C8 | 58.37' | 99.00' | N56°13'04"E |
| C9 | 34.54' | 100.00' | N70°12'26"E |
| C10 | 126.92' | 300.00' | N65°21'15"E |
| C11 | 70.69' | 45.00' | North |

| LINE | LENGTH | BEARING |
|------|---------|-------------|
| L1 | 66.02' | N11°57'32"W |
| L2 | 22.83' | N33°46'56"W |
| L3 | 59.86' | N33°46'56"W |
| L4A | 310.36' | North |
| L4B | 99.03' | North |
| L4C | 56.08' | North |
| L5 | 38.67' | N38°10'06"E |
| L6 | 16.15' | N38°10'06"E |
| L7 | 72.49' | N16°16'02"E |
| L8 | 185.09' | East |
| L9 | 93.34' | East |
| L10 | 73.96' | N70°12'26"E |
| L11 | 362.62' | South |
| L12 | 214.58' | East |
| L13A | 99.54' | S19°47'34"E |
| L13B | 261.55' | S19°47'34"E |
| L14 | 233.81' | S03°44'03"W |
| L15 | 133.03' | S03°44'03"W |
| L16 | 324.31' | West |
| L17 | 30.96' | S56°13'04"W |
| L18 | 14.88' | West |

| LINE | LENGTH | BEARING |
|------|---------|-------------|
| P1 | 182.22' | East |
| P2 | 152.13' | East |
| P3 | 219.04' | North |
| P4 | 212.21' | West |
| P5 | 393.75' | East |
| P6 | 135.12' | South |
| P7 | 285.98' | East |
| P8 | 50.75' | N11°57'32"W |
| P9 | 22.83' | N33°46'56"W |
| P10 | 59.86' | N33°46'56"W |
| P11 | 310.36' | North |
| P12 | 99.03' | North |
| P13 | 56.08' | North |
| P14 | 38.67' | N38°10'06"E |
| P15 | 16.15' | N38°10'06"E |
| P16 | 56.99' | N16°16'02"E |

| CURVE | LENGTH | RADIUS | BEARING |
|-------|--------|---------|-------------|
| PC1 | 57.13' | 150.00' | N68°10'35"E |
| PC2 | 63.67' | 150.00' | N65°40'45"E |
| PC3 | 24.77' | 150.00' | N65°40'45"E |
| PC4 | 99.92' | 150.00' | N51°49'54"E |
| PC5 | 57.34' | 150.00' | N68°05'56"E |

ADDITIONAL SITE PLAN AND LAYOUT NOTES:

- THESE NOTES ARE STANDARD SITE DEVELOPMENT NOTES AND SOME OF THESE NOTES MAY NOT APPLY TO THIS SPECIFIC SITE.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT DRAKE MILL LANE AND HOLDEN AVENUE TO BE COORDINATED WITH JURISDICTIONAL INSPECTIONS DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS (IF REQUIRED) IN CONJUNCTION WITH STATE AND LOCAL REQUIREMENTS.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE LOCAL INSPECTOR.
- THE PURPOSE OF A STORM DRAINAGE EASEMENT IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF LOCAL FLOODPLAIN REQUIREMENTS AND RESTRICTIONS.
- ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURE BUILT ON LOT SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS).
- P.E. SEALED SHOP DRAWINGS FOR ANY RETAINING WALLS MUST BE SUBMITTED TO CITY/COUNTY ENGINEER PRIOR TO CONSTRUCTION.
- "AS BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY ZONING ORDINANCE.
- PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CONCORD ENGINEER FOR APPROVAL (IF APPLICABLE).
- PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED (IF APPLICABLE).
- NON-STANDARD ITEMS (E. PAVED, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND/OR CITY OF CONCORD) BEFORE INSTALLATION.

GENERAL FIRE COMMENTS:

- THIS JURISDICTION ABIDES BY AND ENFORCES THE REQUIREMENTS OF NFPA 241 FOR CONSTRUCTION PROJECTS. A DOCUMENT WE REFER TO AS AN NFPA 241 LETTER IS REQUIRED VERIFYING THAT ALL PARTIES INVOLVED IN THIS PROJECT KNOW OF AND AGREE, TO ABIDE BY THE PROVISION REQUIRING WATER, HYDRANTS, AND ACCESS ROADS BE IN OPERATION PRIOR TO VERTICAL COMBUSTIBLE CONSTRUCTION.
- ACCESS AND WATER SUPPLY SHALL BE ESTABLISHED PRIOR TO AND MAINTAINED DURING VERTICAL COMBUSTIBLE CONSTRUCTION. (NFPA 241)
- NEEDED FIRE FLOW FOR THE STRUCTURE MUST BE PROVIDED AND MAINTAINED.
- THE SITE ADDRESS SHALL BE POSTED IN A TEMPORARY FORM AND UPON COMPLETION IN A PERMANENT FORM IN A VISIBLE LOCATION IN 6 INCH CHARACTERS IN A REFLECTIVE MATERIAL & CONTRASTING COLOR. (FC 505.1)
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY OR BUILDING WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY. A GAP OF 300 FEET OF INACCESSIBLE PERIMETER IS ALLOWED. (FC 503.1.1)
- ACCESS ROADS TO BUILDING ARE REQUIRED TO BE 20 FEET IN WIDTH FOR BUILDINGS UP TO 30 FEET HIGH AND 26 FEET FOR THOSE OVER 30 FEET. (FC 503.2.1)
- FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED CLEARANCE OF 13 FOOT 6 INCHES. (FC 503.2.1)
- THE REQUIRED TURNING RADIUS OF FIRE ACCESS ROADS SHALL BE 42 FOOT RADIUS. (FC 503.2.4)
- DEAD END ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. (FC 503.2.5)
- FIRE LANES REQUIRED FOR ACCESS TO THE STRUCTURE ARE REQUIRED TO BE STRIPPED AND MARKED BY SIGNS PROHIBITING PARKING IN AREAS WHERE ACCESS MAY BE BLOCKED. BLOCKAGE TO ACCESS AFTER CONSTRUCTION MAY RESULT IN FUTURE REQUIREMENTS FOR STRIPPING AND SIGNAGE. (CO 6-7) CONTACT CONCORD FIRE MARSHAL'S OFFICE PRIOR TO LANE STRIPPING FOR DETAILS.
- ALL LANES SHALL BE MARKED IN ACCORDANCE WITH DEPARTMENT SPECIFICATIONS AND APPROVED PRIOR TO INSTALLATION.
- FIRE HYDRANTS ARE REQUIRED WITHIN 400 FEET OF ANY AREA OF THE PERIMETER OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING. (C-1)
- FIRE HYDRANTS - PUBLIC HYDRANTS SHALL BE PAINTED YELLOW AND PRIVATE HYDRANTS SHALL BE PAINTED RED. ALL NEW HYDRANTS SHALL BE EQUIPPED WITH A 5" STORZ FITTING.
- FIRE DEPARTMENT CONNECTIONS (FDC) SHALL BE PROVIDED FOR SPRINKLER SYSTEMS AND BE REMOTE FROM THE BUILDING WITH SIGNAGE. (FC 912.1)
- FIRE HYDRANTS ARE REQUIRED WITHIN 200 FEET OF THE LOCATION OF THE FDC.
- STRUCTURES UNDER CONSTRUCTION ARE REQUIRED TO HAVE TEMPORARY FIRE EXTINGUISHERS ON SITE DURING CONSTRUCTION.
- BUILDINGS EXCEEDING THREE STORIES OR 30 FEET IN HEIGHT SHALL HAVE AT LEAST TWO MEANS OF FIRE APPARATUS ACCESS FOR EACH STRUCTURE. (FC D105.1 & D105.2)
- BUILDINGS EXCEEDING 62,000 S.F. WITHOUT SPRINKLERS OR 124,000 S.F. WITH SPRINKLERS SHALL HAVE TWO ACCESS ROADS PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE PROPERTY OR AREA TO BE SERVED, MEASURED IN A STRAIGHT LINE BETWEEN ACCESSES. (FC D104.2 & D104.3)
- PLEASE SEE CONCORD FIRE & LIFE SAFETY WEB PAGE FOR DETAILS AND SPECIFICATIONS (HTTP://WWW.CONCORDNC.GOV/DEPARTMENTS/FIRE/FIRE-PREVENTION-DIVISION/FIRE-PREVENTION-DIVISION-DOWNLOADS).

PARKING CHART

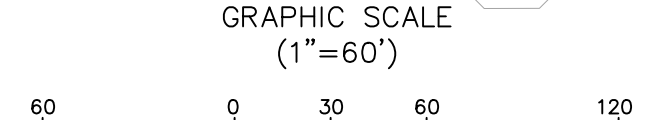
| Lot or Parking Area | Total # of Parking Spaces | | # of Accessible Spaces Provided | | Total = Accessible Provided |
|---------------------|---------------------------|----------|---------------------------------|------------------------------|-----------------------------|
| | Required | Provided | Regular with 5' Access Aisle | Regular with 8' Access Aisle | |
| Multi-Family | 378 | 378 | 0 | 13 | 26 |

- Required number of parking spaces based on City of Concord Unified Development Ordinance - Article 10.
- Multi-Family: Minimum (1.5 spaces per unit) x (252 units) = 378 spaces. Maximum (2.5 spaces per unit) x (252 units) = 630 spaces.
- Required number of bicycle parking spaces based on City of Concord Unified Development Ordinance - Article 10.
- Multi-Family: Minimum (1 space per 5 units) x (252 units) = 51 spaces. Provided = 55 spaces, therefore o.k.

BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 811.

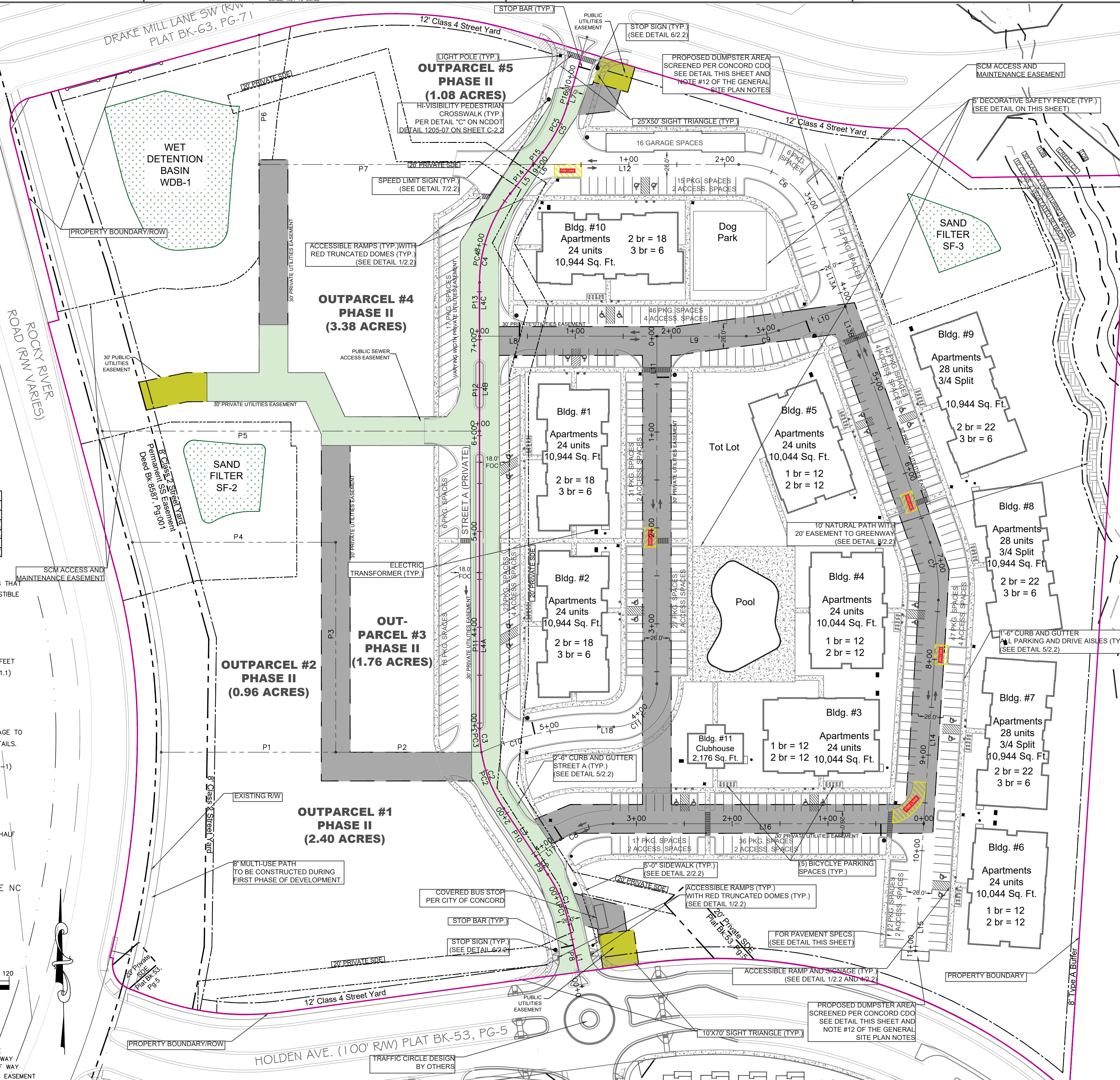
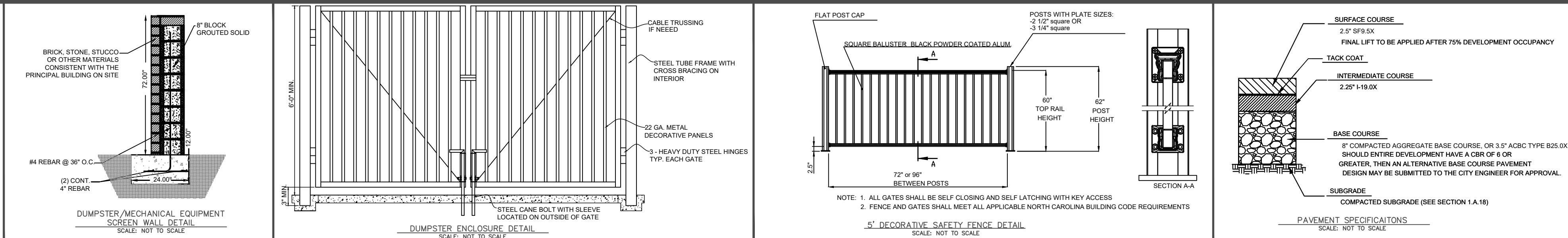
IT'S THE LAW.

GRAPHIC SCALE (1"=60')



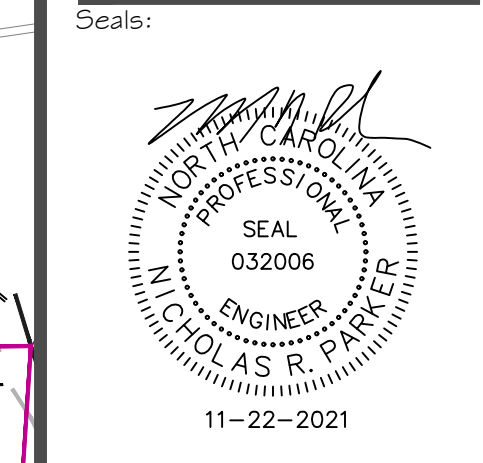
LEGEND:

- SUBJECT BOUNDARY
- ADJACENT PARCEL
- PROPOSED LOT LINE
- EXISTING RIGHT OF WAY
- PROPOSED RIGHT OF WAY
- PROPOSED UTILITIES EASEMENT



Firm License # P-191
30 Union Street South
Concord, NC 28025

Civil Site Design
Low Impact Development
Small-Scale Building Design
Telephone: 704.573.1621
Facsimile: 704.248.7951



Seals:
11-22-2021

FOR THE VILLAS AT ROCKY RIVER LLC
1034 FINWOOD DRIVE
WHITSETT, NORTH CAROLINA 27377

Project Number: 17-20-054
Date: 11-22-2021
Drawn By: JLM
Checked By: NRP

| Revision | Description |
|----------|---------------------|
| 1 | Original Submittal |
| 2 | Per NCDEQ |
| 3 | Per City of Concord |
| 4 | Per City of Concord |
| 5 | Per City of Concord |

Sheet Title:



Sheet No:

C-2.0

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FRONT ELEVATION



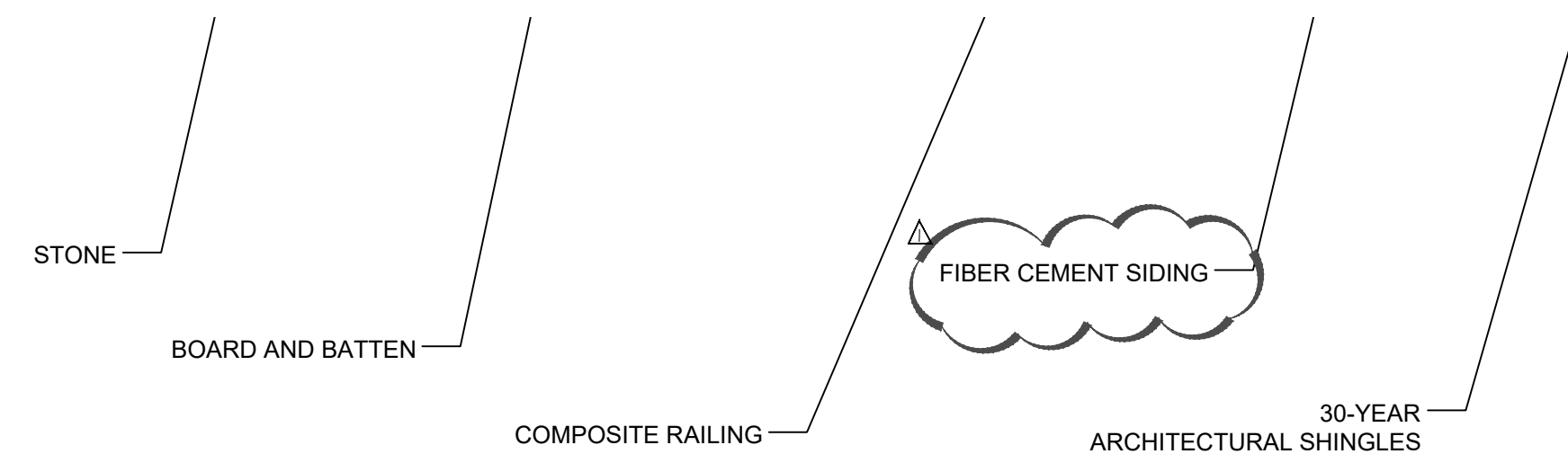
RIGHT ELEVATION



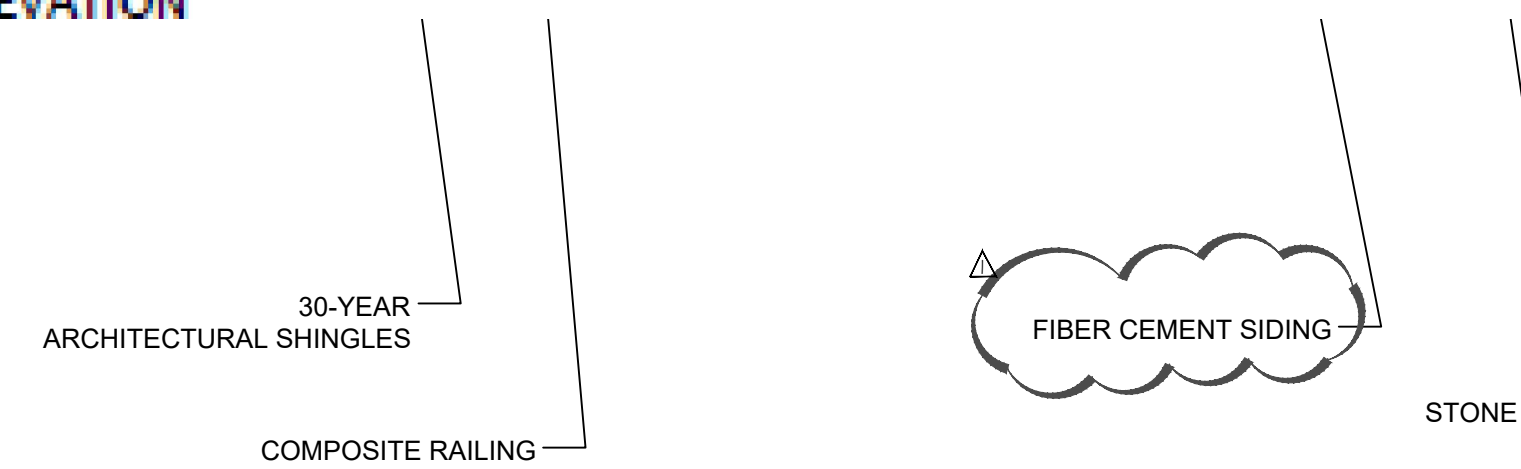
REAR ELEVATION



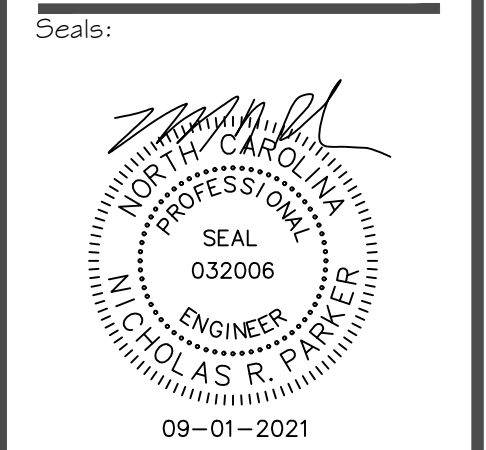
LEFT ELEVATION



BUILDING #'S 1-2, 7-10 (10,944 SQ. FT.)
SCALE: N.T.S.



Amicus Partners, PLLC
Firm License # P-1191
30 Union Street South
Concord, NC 28025
Civil Site Design
Low Impact Development
Small-Scale Building Design
Telephone: 704.573.1621
Facsimile: 704.248.7951



FOR
THE VILLAS AT ROCKY RIVER
PRELIMINARY PLAT
1094 FINNWOOD DRIVE
WHITSETT, NORTH CAROLINA 27377

Project Number: 17-20-054
Date: 09-01-2021
Drawn By: JLM
Checked By: NRP

| Revisions: | Original Submittal |
|------------|---------------------|
| 08-05-2021 | Per City of Concord |
| 09-01-2021 | |
| | |
| | |
| | |

Sheet Title:
**APARTMENT
BUILDING
ELEVATIONS**

Sheet No:
C-2.3

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FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

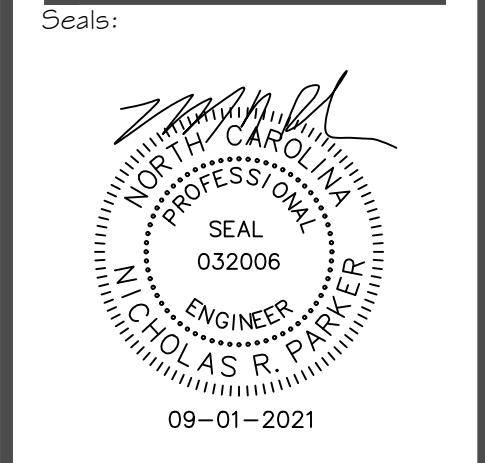


LEFT ELEVATION

BUILDING #'S 3-6 (10,044 SQ. FT.)
SCALE: N.T.S.



Amicus Partners, PLLC
Firm License # P-1191
30 Union Street South
Concord, NC 28025
Civil Site Design
Low Impact Development
Small-Scale Building Design
Telephone: 704.573.1621
Facsimile: 704.248.7951



THE VILLAS AT ROCKY RIVER
PRELIMINARY PLAT
FOR
THE VILLAS AT ROCKY RIVER LLC
1034 FINNWOOD DRIVE
WHITSETT, NORTH CAROLINA 27377

Project Number: 17-20-054
Date: 09-01-2021
Drawn By: JLM
Checked By: NRP

| Revisions: | | |
|------------|---------------------|--|
| 08-05-2021 | Original Submittal | |
| 09-01-2021 | Per City of Concord | |

Sheet Title:

APARTMENT
BUILDING
ELEVATIONS

Sheet No:

C-2.4

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REFERENCED FROM A SURVEY COMPLETED BY THE ISAACS GROUP. ALL TOPOGRAPHIC
INFORMATION REFERENCED FROM A SURVEY COMPLETED BY THE ISAACS GROUP.

Residential

The Mills at Rocky River Townhomes (PRS2021-01605)

1002 Holden Ave SW.

| First Submittal | Last Submittal | Units | Technically Approved |
|------------------------|-----------------------|--------------|-----------------------------|
| 5/26/2021 | 11/5/2021 | 95 Townhomes | No: Early grading approved. |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|--------------|-------------|-------------|-------------|
| 22800 | 12000 | 10800 | |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|------------------------|---------------------------|---------------------------|-----------------------------|-----------------------|---|---------------|--------------|
| 0 | 0 | 0 | 1 | 0 | 1 | 0 | 2 |

Brief Summary

95 front-loaded townhomes on Holden Avenue. The property was voluntarily annexed on July 17, 1997. The original project "Village at Rocky River" was approved by City Council in August of 1997. Rezoning case Z-13-05 was approved and therefore the whole property is zoned PUD in 2005. The Technical Data Sheet was amended in case Z(CD)-06-20 and the Planning and Zoning Commission voted to approve on February 19, 2021. The preliminary plat was approved on April 14, 2021.

The Mills also includes nonresidential component which is included under two separate allocation requests (commercial outparcels and a BP convenience store).

Outstanding Items

There are 7 open issues. There is some offsite easement work to be completed.



Mills at Rocky River Townhomes

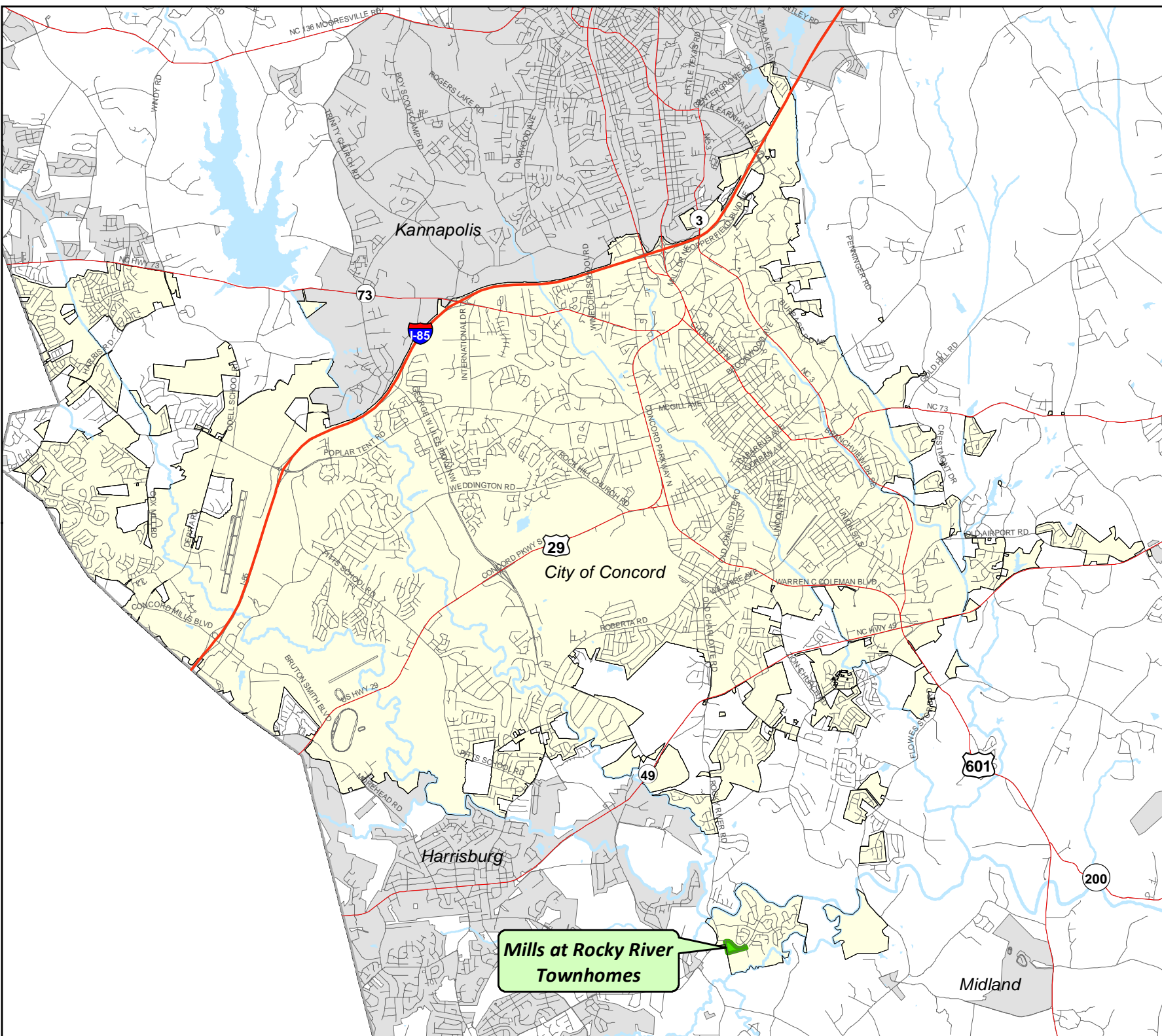
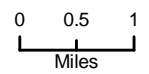
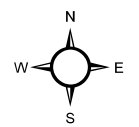
(PRS2021-01605)

95 Townhomes

Allocation Request:
22,800

Project Scoring: 2

- Mills at Rocky River TH
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.



**Mills at Rocky River
Townhomes**



PRELIMINARY WASTEWATER FLOW APPLICATION

INSTRUCTIONS FOR FORM: PWWF-2021

The City of Concord Preliminary Wastewater Flow Application is to be completed for any residential, commercial, and/or industrial site development projects requiring a permit based upon 15A NCAC Subchapter 2T rules and the Water and Sewer Authority of Cabarrus County sewer allocation and commitment policy.

A DIGITAL COPY OF THE COMPLETED APPLICATION PACKAGE, SUPPORTING INFORMATION AND MATERIALS, SHOULD BE UPLOADED TO ACCELA ONLINE PORTAL IN THE APPLICABLE ACCELA CASE AT <https://accela1.cabarruscounty.us/CitizenAccess/> , UNLESS OTHERWISE SPECIFIED.

SUPPORTING INFORMATION AT A MINIMUM NEEDS TO INCLUDE A PROJECT NARRATIVE.

The narrative should include any and all information the applicant wants City Council to consider when evaluating the project for flow allocation. In general, the narrative should be a description of the project, including project data (zoning, number of lots, type of housing or business), price points for homes or investment for business, and any sustainability components of the plan (ie walking trails, water conservation, green building practices, operational aspects of business such as waste reduction, recycling, etc).

For Accela Case Inquiries, Contact:

**CITY OF CONCORD
Planning & Neighborhood Development-
Zoning Services
Post Office Box 308
Concord, North Carolina 28026-0308
Telephone Number: (704) 920-5152**

For Engineering Design Inquiries, Contact:

**CITY OF CONCORD
Engineering Department
Post Office Box 308
Concord, North Carolina 28026-0308
Telephone Number: (704) 920-5425**



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

| | |
|---|--|
| TO BE COMPLETED BY THE CITY OF CONCORD | |
| Planning Case No: | |
| Engineering Project No: | |
| ATC No: | |

| | | | | | | |
|---|---|--|--|--|-----------------------------|--|
| A. Project Information | 1.) | Project Title: | Mills at Rocky River - Townhomes | | | |
| | 2.) | Description of project location: | 0.00 feet from the Southeast Corner of Holden Avenue and Griffins Gate Road SW <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small> | | | |
| | 3.) | Cabarrus County Parcel Identification Number: | 3a.) | Parcel Acreage: | 13.55 | |
| | 4.) | Site Zoning and use: | 5.) | Area Commercial or Industrial Building | (sq. ft.) | |
| | 6a.) | Description of Facility to be served: | 6b.) Number of Lots | 95 | 6c.) Number of Units | |
| | 7d.) | Additional description information: | Single-Family residential subdivision featuring 95 townhomes | | | |
| | B. Applicant Information | Kenneth Orndorff Manager <small>(Title)</small> | | 6531 Hazelton Drive | | |
| <small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small> | | <small>(Applicant's Street or Box Number)</small> | | | | |
| Green Street Land Co., LLC | | Charlotte, NC 28210 | | | | |
| <small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small> | | <small>(Applicant's City, State, Zip Code)</small> | | | | |
| (704) 281-8379 | | | | | | |
| <small>(Applicant's Phone Number)</small> | | <small>(Applicant's Facsimile Number)</small> | | | | |
| Nicholas R. Parker | | nrparker@amicuseng.com | greenstreetnc@gmail.com | | | |
| <small>(Name with Title and Email of contact person, who can answer questions about application)</small> | | <small>(Applicant's Email Address)</small> | | | | |
| REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner. | | | | | | |
| C. Design Engineer Information if available | Nicholas R. Parker | | Amicus Partner, PLLC | | | |
| | <small>(Typed name of North Carolina Professional Engineer)</small> | | <small>(Company Name)</small> | | | |
| | 032006 | | 30 Union Street South | | | |
| | <small>(NCPE Registration Number)</small> | | <small>(Street or Box Number)</small> | | | |
| | (704) 573-1621 | | Concord, NC 28025 | | | |
| | <small>(Phone Number)</small> | | <small>(City, State, Zip Code)</small> | | | |
| Nicholas R. Parker - Engineer | | nrparker@amicuseng.com | | | | |
| <small>(Name and affiliation of contact person, who can answer questions about application & designs)</small> | | <small>(Engineer's Email Address)</small> | | | | |

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

| | | | |
|-------------------------------------|--|--------------------------|-----------------------------------|
| <input checked="" type="checkbox"/> | Residential Subdivision | <input type="checkbox"/> | Retail (Stores, shopping centers) |
| <input type="checkbox"/> | Apartments/Condominiums | <input type="checkbox"/> | Institution |
| <input type="checkbox"/> | Mobile Home Park | <input type="checkbox"/> | Hospital, nursing home, dental |
| <input type="checkbox"/> | School, preschool, daycare | <input type="checkbox"/> | Church |
| <input type="checkbox"/> | Restaurants (Food or drink facilities) | <input type="checkbox"/> | Sports Centers |
| <input type="checkbox"/> | Hotels or motels | <input type="checkbox"/> | Business, offices, factories |
| <input type="checkbox"/> | Other (specify): _____ | | |

2.) The type of wastewater is (indicate percentage):

| | |
|-----|-----------------------------|
| 100 | % Domestic |
| | % Commercial |
| | % Industrial |
| | % Other use (Specify) _____ |

3.) Pretreatment required:

No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 22,800 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114
 a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).
 b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.
{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

| Established Type (See 02T.0114(f)) | Daily Design Flow (a, b) | No. of Units | Flow |
|------------------------------------|-------------------------------------|--------------|-------------------|
| Residential | 160 gal/ day/2 bedrooms | 95 | GPD 15,200 |
| | 80 gal/ day/each additional bedroom | 95 | GPD 7,600 |
| | gal/ | | GPD |
| | gal/ | | GPD |
| | gal/ | | GPD |
| | gal/ | | GPD |
| | | Total | GPD 22,800 |

E. Applicant Acknowledgment

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, Kenneth Orndorff, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

G. Kenneth Orndorff

Digitally signed by G. Kenneth Orndorff
 Date: 2022.01.19 10:00:37 -05'00'

1/19/2022

Signature:

Date:

January 19, 2022

City of Concord Engineering Department
Alfred M. Brown Operations Center
PO Box 308
Concord, NC 28026-0308



Amicus Partners, PLLC

Attn: M. Sue Hyde, PE
Engineering Director

Reference: **Mills at Rocky River
Townhomes Project Narrative:**

Dear Ms. Hyde:

On behalf of Green Street Land Co., LLC, Amicus Partners, PLLC (Amicus) is pleased to submit preliminary wastewater flow application and project narrative for the Mills at Rocky River Townhome Site to the City of Concord's Engineering Department for the purpose of securing flow allocation.

The Mills at Rocky River Townhome Site is located at the Southeast corner of the intersection of Holden Avenue SW and Griffins Gate Rd SW in Concord, NC. The Cabarrus County parcel ID is 55275157990000. The site is 13.55-acres and is currently zoned PUD. The site is an infill development within the original Mills at Rocky River approved masterplan. The Mills at Rocky River Master Planned Community was approved in 2005 for 1,200 units. Of the approved units, 843 have been built and occupied. This specific project consists of 95 proposed single-family townhomes priced at market value and starting in the low \$300k's. The site will have pedestrian connectivity to Patriots Elementary School, C.C. Griffin Middle School, Hector H. Henry II Greenway, and future shops and restaurants to be located at 1054 Drake Mill Lane. The Preliminary Plat for this project was approved on 4/14/2021 (Accela Case # CN-PLP-2019-00008). Full construction documents have been submitted and are pending sewer allocation for final approval (Accela Case # PRS2021-01605). Erosion Control Plans have been approved by the State of North Carolina NCDEQ and an early grading permit has been issued from the City of Concord.

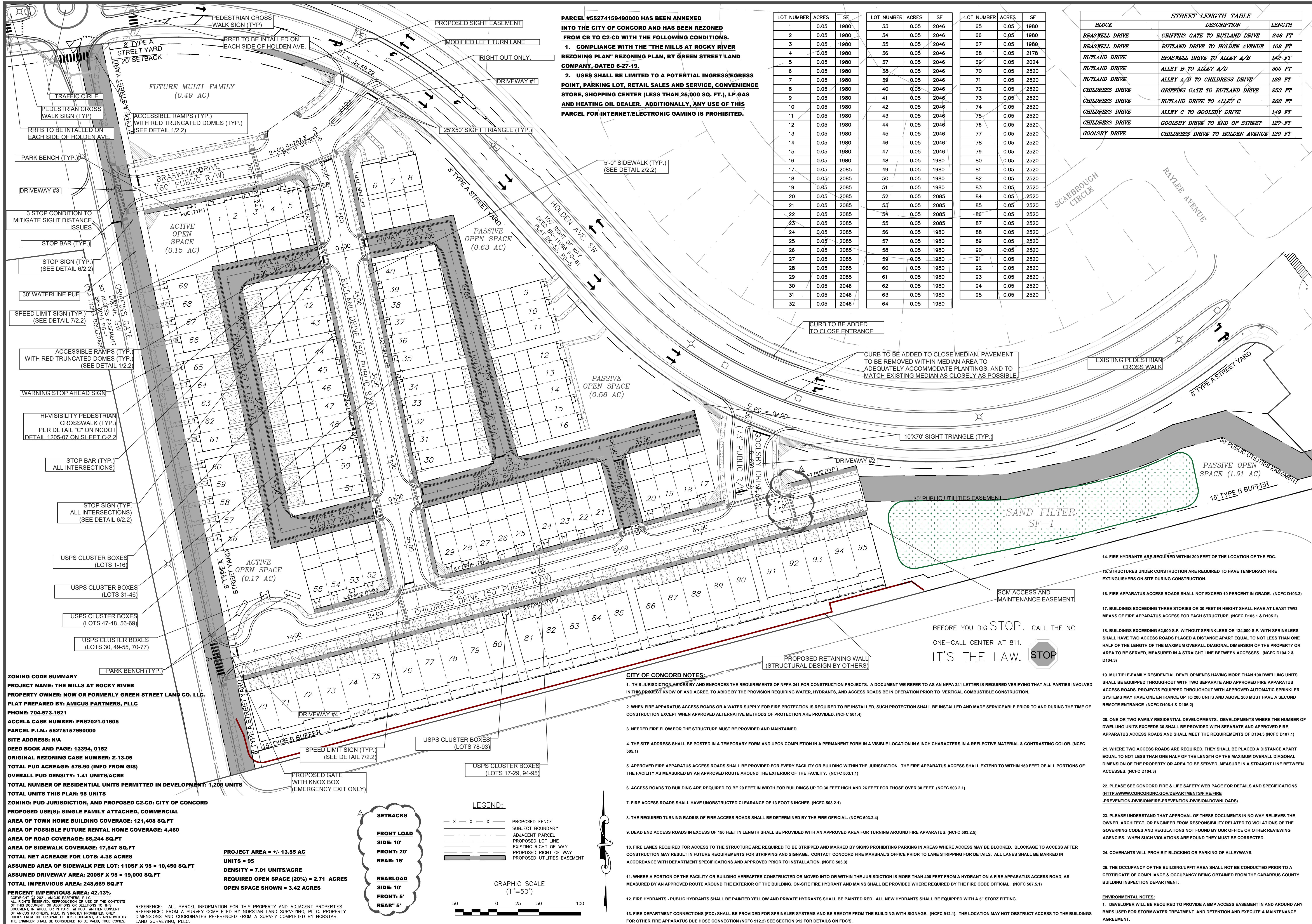
If you have any further questions, please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'N. R. Parker'.

Nicholas R. Parker, PE
Manager
Amicus Partners, PLLC





PARCEL #5527419490000 HAS BEEN ANNEXED INTO THE CITY OF CONCORD AND HAS BEEN REZONED FROM CR TO C2-CD WITH THE FOLLOWING CONDITIONS.

1. COMPLIANCE WITH THE "THE MILLS AT ROCKY RIVER REZONING PLAN" REZONING PLAN, BY GREEN STREET LAND COMPANY, DATED 6-27-19.

2. USES SHALL BE LIMITED TO A POTENTIAL INGRESS/EGRESS POINT, PARKING LOT, RETAIL SALES AND SERVICE, CONVENIENCE STORE, SHOPPING CENTER (LESS THAN 25,000 SQ. FT.), LP GAS AND HEATING OIL DEALER. ADDITIONALLY, ANY USE OF THIS PARCEL FOR INTERNET/ELECTRONIC GAMING IS PROHIBITED.

| LOT NUMBER | ACRES | SF | LOT NUMBER | ACRES | SF | LOT NUMBER | ACRES | SF |
|------------|-------|------|------------|-------|------|------------|-------|------|
| 1 | 0.05 | 1980 | 33 | 0.05 | 2046 | 65 | 0.05 | 1980 |
| 2 | 0.05 | 1980 | 34 | 0.05 | 2046 | 66 | 0.05 | 1980 |
| 3 | 0.05 | 1980 | 35 | 0.05 | 2046 | 67 | 0.05 | 1980 |
| 4 | 0.05 | 1980 | 36 | 0.05 | 2046 | 68 | 0.05 | 2178 |
| 5 | 0.05 | 1980 | 37 | 0.05 | 2046 | 69 | 0.05 | 2024 |
| 6 | 0.05 | 1980 | 38 | 0.05 | 2046 | 70 | 0.05 | 2520 |
| 7 | 0.05 | 1980 | 39 | 0.05 | 2046 | 71 | 0.05 | 2520 |
| 8 | 0.05 | 1980 | 40 | 0.05 | 2046 | 72 | 0.05 | 2520 |
| 9 | 0.05 | 1980 | 41 | 0.05 | 2046 | 73 | 0.05 | 2520 |
| 10 | 0.05 | 1980 | 42 | 0.05 | 2046 | 74 | 0.05 | 2520 |
| 11 | 0.05 | 1980 | 43 | 0.05 | 2046 | 75 | 0.05 | 2520 |
| 12 | 0.05 | 1980 | 44 | 0.05 | 2046 | 76 | 0.05 | 2520 |
| 13 | 0.05 | 1980 | 45 | 0.05 | 2046 | 77 | 0.05 | 2520 |
| 14 | 0.05 | 1980 | 46 | 0.05 | 2046 | 78 | 0.05 | 2520 |
| 15 | 0.05 | 1980 | 47 | 0.05 | 2046 | 79 | 0.05 | 2520 |
| 16 | 0.05 | 1980 | 48 | 0.05 | 1980 | 80 | 0.05 | 2520 |
| 17 | 0.05 | 2085 | 49 | 0.05 | 1980 | 81 | 0.05 | 2520 |
| 18 | 0.05 | 2085 | 50 | 0.05 | 1980 | 82 | 0.05 | 2520 |
| 19 | 0.05 | 2085 | 51 | 0.05 | 1980 | 83 | 0.05 | 2520 |
| 20 | 0.05 | 2085 | 52 | 0.05 | 2085 | 84 | 0.05 | 2520 |
| 21 | 0.05 | 2085 | 53 | 0.05 | 2085 | 85 | 0.05 | 2520 |
| 22 | 0.05 | 2085 | 54 | 0.05 | 2085 | 86 | 0.05 | 2520 |
| 23 | 0.05 | 2085 | 55 | 0.05 | 2085 | 87 | 0.05 | 2520 |
| 24 | 0.05 | 2085 | 56 | 0.05 | 1980 | 88 | 0.05 | 2520 |
| 25 | 0.05 | 2085 | 57 | 0.05 | 1980 | 89 | 0.05 | 2520 |
| 26 | 0.05 | 2085 | 58 | 0.05 | 1980 | 90 | 0.05 | 2520 |
| 27 | 0.05 | 2085 | 59 | 0.05 | 1980 | 91 | 0.05 | 2520 |
| 28 | 0.05 | 2085 | 60 | 0.05 | 1980 | 92 | 0.05 | 2520 |
| 29 | 0.05 | 2085 | 61 | 0.05 | 1980 | 93 | 0.05 | 2520 |
| 30 | 0.05 | 2046 | 62 | 0.05 | 1980 | 94 | 0.05 | 2520 |
| 31 | 0.05 | 2046 | 63 | 0.05 | 1980 | 95 | 0.05 | 2520 |
| 32 | 0.05 | 2046 | 64 | 0.05 | 1980 | | | |

STREET LENGTH TABLE

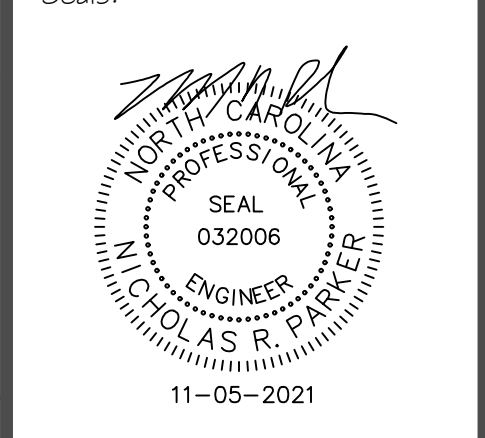
| BLOCK | DESCRIPTION | LENGTH |
|-----------------|----------------------------------|--------|
| BRASWELL DRIVE | GRIFFINS GATE TO RUTLAND DRIVE | 248 FT |
| BRASWELL DRIVE | RUTLAND DRIVE TO HOLDEN AVENUE | 102 FT |
| RUTLAND DRIVE | BRASWELL DRIVE TO ALLEY A/B | 142 FT |
| RUTLAND DRIVE | ALLEY B TO ALLEY A/D | 305 FT |
| RUTLAND DRIVE | ALLEY A/D TO CHILDRESS DRIVE | 128 FT |
| CHILDRESS DRIVE | GRIFFINS GATE TO RUTLAND DRIVE | 253 FT |
| CHILDRESS DRIVE | RUTLAND DRIVE TO ALLEY C | 268 FT |
| CHILDRESS DRIVE | ALLEY C TO GOOLSBY DRIVE | 149 FT |
| GOOLSBY DRIVE | GOOLSBY DRIVE TO END OF STREET | 127 FT |
| GOOLSBY DRIVE | CHILDRESS DRIVE TO HOLDEN AVENUE | 129 FT |



Firm License # P-1191
30 Union Street South
Concord, NC 28025

Civil Site Design
Low Impact Development
Small-Scale Building Design

Telephone: 704.573.1621
Facsimile: 704.248.7951

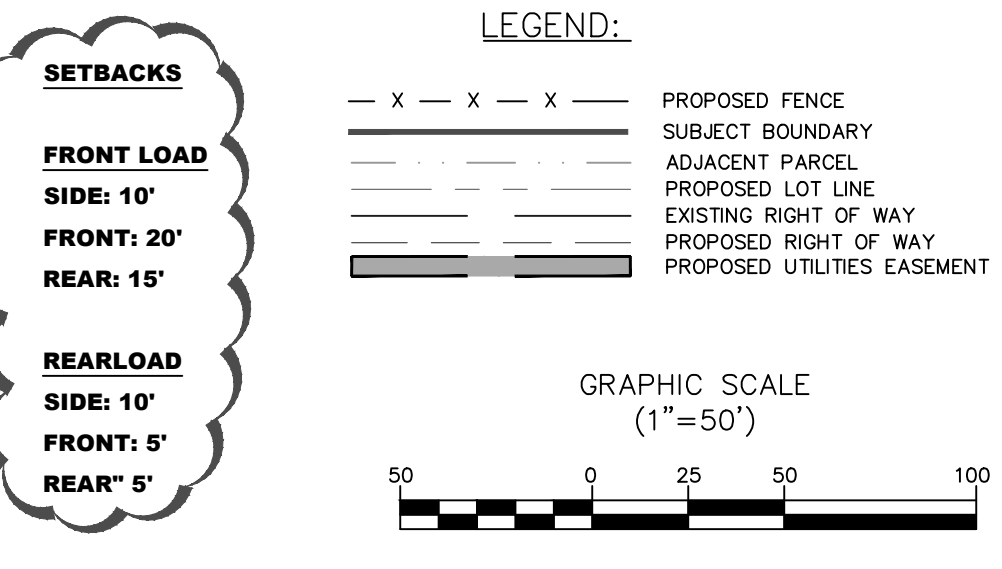


FOR:
GREEN STREET LAND CO. LLC
5615 POTTER ROAD
MATTHEWS, NORTH CAROLINA 28104
(704) 573-1621

ZONING CODE SUMMARY
PROJECT NAME: THE MILLS AT ROCKY RIVER
PROPERTY OWNER: NOW OR FORMERLY GREEN STREET LAND CO. LLC.
PLAT PREPARED BY: AMICUS PARTNERS, PLLC
PHONE: 704-573-1621
ACCELA CASE NUMBER: PRS2021-01605
PARCEL P.I.N.: 55275157990000
SITE ADDRESS: N/A
DEED BOOK AND PAGE: 13394, 0152
ORIGINAL REZONING CASE NUMBER: 2-13-05
TOTAL PUD ACREAGE: 576.90 (INFO FROM GIS)
OVERALL PUD DENSITY: 1.41 UNITS/ACRE
TOTAL NUMBER OF RESIDENTIAL UNITS PERMITTED IN DEVELOPMENT: 1,200 UNITS
TOTAL UNITS THIS PLAN: 95 UNITS
ZONING: PUD JURISDICTION, AND PROPOSED C2-CD: CITY OF CONCORD
PROPOSED USE(S): SINGLE FAMILY ATTACHED, COMMERCIAL
AREA OF TOWN HOME BUILDING COVERAGE: 121,408 SQ.FT
AREA OF POSSIBLE FUTURE RENTAL HOME COVERAGE: 4,460
AREA OF ROAD COVERAGE: 86,244 SQ.FT
AREA OF SIDEWALK COVERAGE: 17,547 SQ.FT
TOTAL NET ACREAGE FOR LOTS: 4.38 ACRES
ASSUMED AREA OF SIDEWALK PER LOT: 110SF X 95 = 10,450 SQ.FT
ASSUMED DRIVEWAY AREA: 200SF X 95 = 19,000 SQ.FT
TOTAL IMPERVIOUS AREA: 248,669 SQ.FT
PERCENT IMPERVIOUS AREA: 42.13%

PROJECT AREA = +/- 13.55 AC
UNITS = 95
DENSITY = 7.01 UNITS/ACRE
REQUIRED OPEN SPACE (20%) = 2.71 ACRES
OPEN SPACE SHOWN = 3.42 ACRES

SETBACKS
FRONT: 10'
REAR: 15'
REAR: 15'
FRONT: 10'
REAR: 5'



- CITY OF CONCORD NOTES:**
- THIS JURISDICTION ABIDES BY AND ENFORCES THE REQUIREMENTS OF NFPA 241 FOR CONSTRUCTION PROJECTS. A DOCUMENT WE REFER TO AS AN NFPA 241 LETTER IS REQUIRED VERIFYING THAT ALL PARTIES INVOLVED IN THIS PROJECT KNOW OF AND AGREE, TO ABIDE BY THE PROVISION REQUIRING WATER, HYDRANTS, AND ACCESS ROADS BE IN OPERATION PRIOR TO VERTICAL COMBUSTIBLE CONSTRUCTION.
 - WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION EXCEPT WHEN APPROVED ALTERNATIVE METHODS OF PROTECTION ARE PROVIDED. (NCFC 501.4)
 - NEEDED FIRE FLOW FOR THE STRUCTURE MUST BE PROVIDED AND MAINTAINED.
 - THE SITE ADDRESS SHALL BE POSTED IN A TEMPORARY FORM AND UPON COMPLETION IN A PERMANENT FORM IN A VISIBLE LOCATION IN 6 INCH CHARACTERS IN A REFLECTIVE MATERIAL & CONTRASTING COLOR. (NCFC 505.1)
 - APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY OR BUILDING WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY. (NCFC 503.1.1)
 - ACCESS ROADS TO BUILDING ARE REQUIRED TO BE 20 FEET IN WIDTH FOR BUILDINGS UP TO 30 FEET HIGH AND 26 FEET FOR THOSE OVER 30 FEET. (NCFC 503.2.1)
 - FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED CLEARANCE OF 13 FOOT 6 INCHES. (NCFC 503.2.1)
 - THE REQUIRED TURNING RADIUS OF FIRE ACCESS ROADS SHALL BE DETERMINED BY THE FIRE OFFICIAL. (NCFC 503.2.4)
 - DEAD END ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. (NCFC 503.2.5)
 - FIRE LANES REQUIRED FOR ACCESS TO THE STRUCTURE ARE REQUIRED TO BE STRIPPED AND MARKED BY SIGNS PROHIBITING PARKING IN AREAS WHERE ACCESS MAY BE BLOCKED. BLOCKAGE TO ACCESS AFTER CONSTRUCTION MAY RESULT IN FUTURE REQUIREMENTS FOR STRIPPING AND SIGNAGE. CONTACT CONCORD FIRE MARSHAL'S OFFICE PRIOR TO LANE STRIPPING FOR DETAILS. ALL LANES SHALL BE MARKED IN ACCORDANCE WITH DEPARTMENT SPECIFICATIONS AND APPROVED PRIOR TO INSTALLATION. (NCFC 503.3)
 - WHERE A PORTION OF THE FACILITY OR BUILDING HEREFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 400 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING, ON-SITE FIRE HYDRANT AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL. (NCFC 507.5.1)
 - FIRE HYDRANTS - PUBLIC HYDRANTS SHALL BE PAINTED YELLOW AND PRIVATE HYDRANTS SHALL BE PAINTED RED. ALL NEW HYDRANTS SHALL BE EQUIPPED WITH A 5" STORZ FITTING.
 - FIRE DEPARTMENT CONNECTIONS (FDC) SHALL BE PROVIDED FOR SPRINKLER SYSTEMS AND BE REMOTE FROM THE BUILDING WITH SIGNAGE. (NCFC 912.1). THE LOCATION MAY NOT OBSTRUCT ACCESS TO THE BUILDINGS FOR OTHER FIRE APPARATUS DUE HOSE CONNECTION (NCFC 912.2) SEE SECTION 912 FOR DETAILS ON FDC'S.

- FIRE HYDRANTS ARE REQUIRED WITHIN 200 FEET OF THE LOCATION OF THE FDC.
 - STRUCTURES UNDER CONSTRUCTION ARE REQUIRED TO HAVE TEMPORARY FIRE EXTINGUISHERS ON SITE DURING CONSTRUCTION.
 - FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE. (NCFC D103.2)
 - BUILDINGS EXCEEDING THREE STORIES OR 30 FEET IN HEIGHT SHALL HAVE AT LEAST TWO MEANS OF FIRE APPARATUS ACCESS FOR EACH STRUCTURE. (NCFC D105.1 & D105.2)
 - MULTIPLE-FAMILY RESIDENTIAL DEVELOPMENTS HAVING MORE THAN 100 DWELLING UNITS SHALL BE EQUIPPED THROUGHOUT WITH TWO SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS. PROJECTS EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS MAY HAVE ONE ENTRANCE UP TO 200 UNITS AND ABOVE 200 MUST HAVE A SECOND REMOTE ENTRANCE. (NCFC D106.1 & D106.2)
 - ONE OR TWO-FAMILY RESIDENTIAL DEVELOPMENTS. DEVELOPMENTS WHERE THE NUMBER OF DWELLING UNITS EXCEEDS 30 SHALL BE PROVIDED WITH SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS AND SHALL MEET THE REQUIREMENTS OF D104.3 (NCFC D107.1)
 - WHERE TWO ACCESS ROADS ARE REQUIRED, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE PROPERTY OR AREA TO BE SERVED. MEASURE IN A STRAIGHT LINE BETWEEN ACCESSES. (NCFC D104.3)
 - PLEASE SEE CONCORD FIRE & LIFE SAFETY WEB PAGE FOR DETAILS AND SPECIFICATIONS (HTTP://WWW.CONCORDNC.GOV/DEPARTMENTS/FIRE/FIRE-PREVENTION-DIVISION/FIRE-PREVENTION-DIVISION-DOWNLOADS).
 - PLEASE UNDERSTAND THAT APPROVAL OF THESE DOCUMENTS IN NO WAY RELIEVES THE OWNER, ARCHITECT, OR ENGINEER FROM RESPONSIBILITY RELATED TO VIOLATIONS OF THE GOVERNING CODES AND REGULATIONS NOT FOUND BY OUR OFFICE OR OTHER REVIEWING AGENCIES. WHEN SUCH VIOLATIONS ARE FOUND THEY MUST BE CORRECTED.
 - COVENANTS WILL PROHIBIT BLOCKING OR PARKING OF ALLEYS.
 - THE OCCUPANCY OF THE BUILDING/UPFIT AREA SHALL NOT BE CONDUCTED PRIOR TO A CERTIFICATE OF COMPLIANCE & OCCUPANCY BEING OBTAINED FROM THE CABARRUS COUNTY BUILDING INSPECTION DEPARTMENT.
- ENVIRONMENTAL NOTES:**
- DEVELOPER WILL BE REQUIRED TO PROVIDE A BMP ACCESS EASEMENT IN AND AROUND ANY BMPs USED FOR STORMWATER TREATMENT AND DETENTION AND EXECUTE A MAINTENANCE AGREEMENT.

Project Number: 17-19-026
Date: 11-05-2021
Drawn By: EML
Checked By: NRP

Revisions:
05-21-2021 Original Submittal
07-20-2021 Per City of Concord
09-20-2021 Per City of Concord
10-26-2021 Per City of Concord
11-05-2021 Per City of Concord

Sheet Title:
SITE PLAN

Sheet No:
C-2.0

Residential

Copperfield Mixed Use (PRS2019-01387)

1190 Crosspointe Dr NE

| First Submittal | Last Submittal | Units | Technically Approved |
|------------------------|-----------------------|------------------------|-----------------------------|
| 6/3/2019 | 12/17/2021 | 360 apts, 64 townhomes | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|--------------|-------------|-------------|-------------|
| 101760 | 12000 | 12000 | 77760 |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|------------------------|---------------------------|---------------------------|-----------------------------|-----------------------|---|---------------|--------------|
| 0 | 0 | 0 | 1 | 0 | 1 | 0 | 2 |

Brief Summary

360 apartments, 64 townhomes. Rezoning Case Z(CD)28-16 approved by the Planning and Zoning Commission on December 20, 2016. The case was appealed to City Council and heard on February 9, 2017, where the actions of the Planning and Zoning Commission were upheld. The preliminary plat for the subdivision was approved on May 28, 2019.

In December 2019, placed \$88,947 in escrow with the City for construction and enhancement of secondary rear entrance. In March 2020, placed \$291,602 in cash bond with NCDOT for construction of Vinehaven Drive stoplight at Copperfield Boulevard. This light has been installed.

Project includes a future commercial structure with a building footprint of approximately 18,150 square feet adjacent to Crosspointe Drive.

Outstanding Items

There are over 100 unaddressed comments from all reviewing departments.

Copperfield Mixed Use

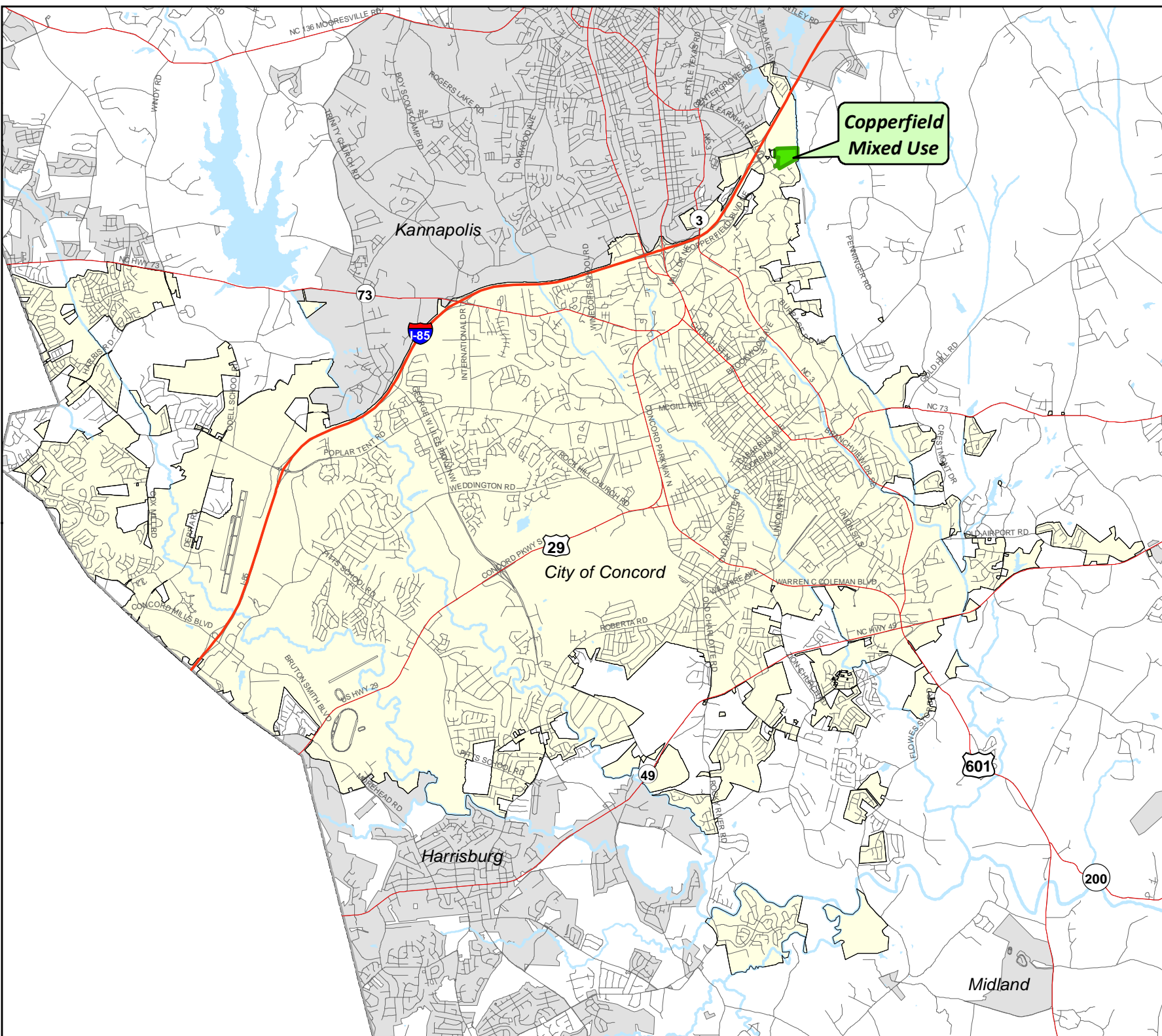
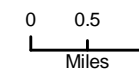
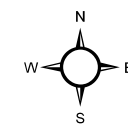
(PRS2019-01387)

360 Apartments,
64 Townhomes

Allocation Request:
101,760

Project Scoring: 2

- Copperfield Mixed Use
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.



Project Narrative for Copperfield Apartment Homes and Townhomes

Copperfield Apartments – Pin # 56229769120000 located at 1190 Crosspointe Dr.
Copperfield Townhomes – Pin # 56229731280000 located on Vinehaven Dr.

(We have been working on this project with The City of Concord since 2016)

This project consists of 360 apartments with 144 – 1 Bedrooms, 180 – 2 Bedrooms & 36 – 3 bedrooms. 64 townhomes with 32 being 2 Bedrooms and 32 being 3 Bedrooms.

December 30, 2016 - We received our zoning approval from The City of Concord Planning & Zoning Commission for this project case number #Z (CD)-28-16.

February 9, 2017 – Approved by Concord City Council to build apartments and townhomes.

June 21, 2017 – We received our Transportation Impact Analysis that The City of Concord required us provide to determine the impact of traffic flow.

June 5, 2018 – We received our Service Availability Letter from The City of Concord stating our property is served by a 8” gravity sewer line and 12” water main.

May 17, 2019 – Our plat for the apartments and townhomes were approved by Concord Planning.

May 24, 2019 – Our plat for the apartments and townhomes were approved by Concord Engineering.

June 3, 2019 – Construction plans were submitted.

December 13, 2019 – We had to place \$88,947.42 in escrow with The City of Concord for the construction and enhancement of our secondary rear entrance to our project.

March 2, 2020 – After addressing all comments from The City of Concord the construction plans were resubmitted to The City of Concord for the 2nd review.

March 9, 2020 – We placed \$291,602.01 in a cash bond with NCDOT to construct a stoplight at the intersection of Copperfield Blvd and Vinehaven Dr for the impact our project would have on the increased traffic flow.

March 17, 2020 – Governor Cooper closes all restaurants in North Carolina and all governmental agencies follow suit to end all in person business and mandatory shutdowns follow, therefore greatly impacting our process to have our construction plans approved.

Project Narrative for Copperfield Apartment Homes and Townhomes

September 2020 - Area flood line that was approved per our 1st & 2nd submittals was changed throwing a huge wrench in the system. We had to shift the entire project around to adjust for the new flood line.

June 16, 2021 – Resubmitted for the 3rd time for plan review.

December 17, 2021 – Resubmitted for the 4th time for plan review.

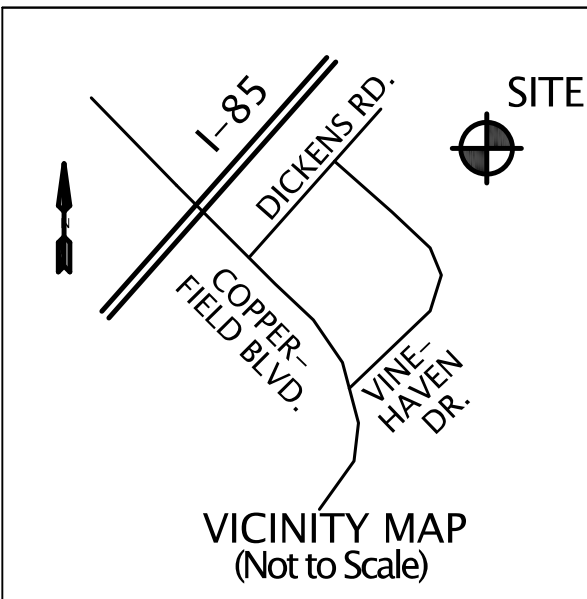
Our Scope

Our upscale grade A apartment homes and townhomes are to be built for the better good of the citizens of Concord. Our project will be packed with amenities such as a sparkling pool oasis, dog parks, walking trail, immaculate landscaping, playground, grill areas with picnic tables.

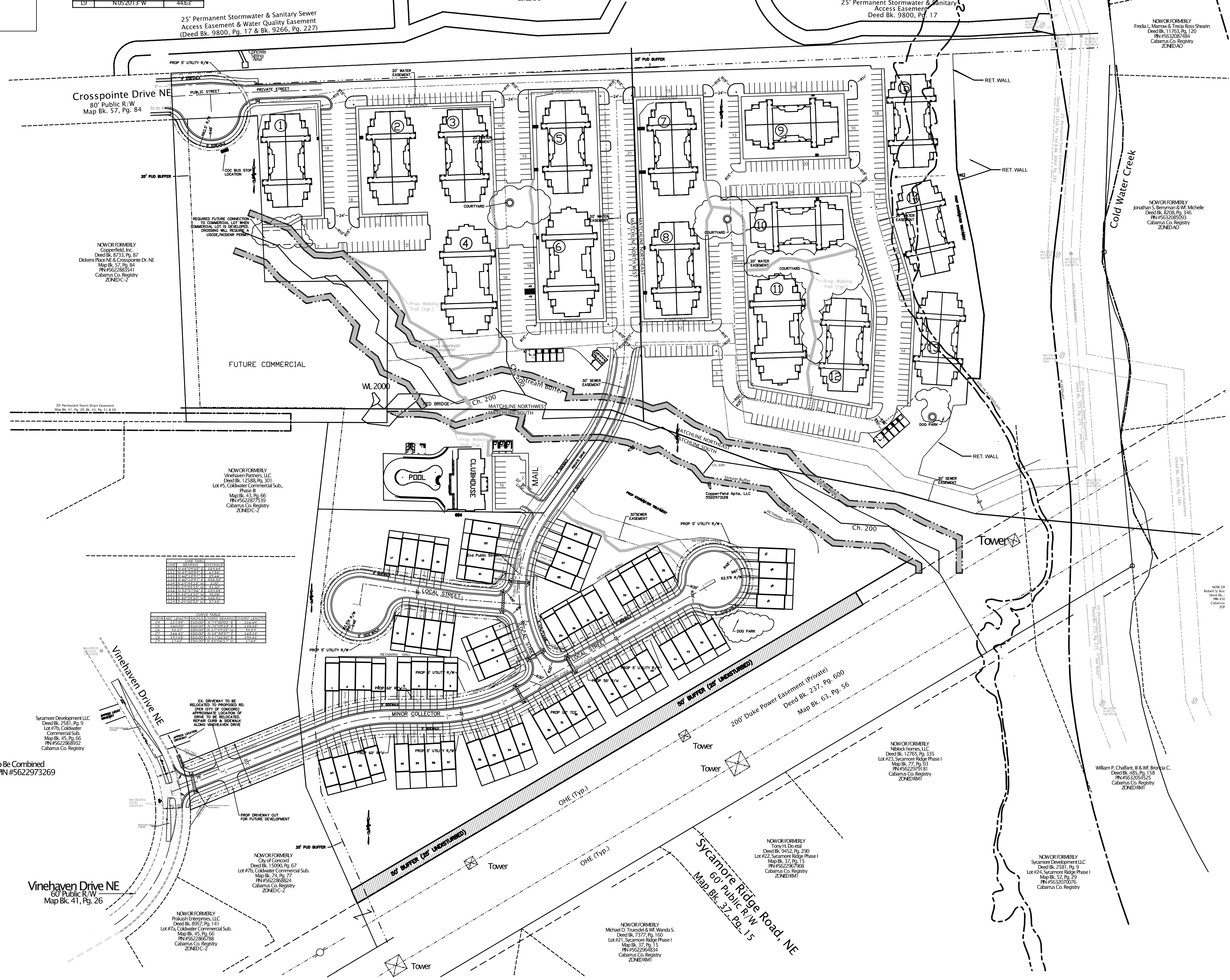
We will have a community clubhouse with a cyber café, meeting area, state of the art fitness facility & community kitchen.

Our Plea

We have been working with The City of Concord on this project long before any sewer issues were disclosed. We are now at the mercy of The City Council and we are hoping The Council will be understanding of how long we have been working with The City of Concord, how much money, time and energy has been spent doing everything we have been asked to do by The City of Concord. We are asking if The Council would take into consideration and let us move forward to develop our 360 apartment homes and 64 townhomes without delay.



| LINE | NORTH | DISTANCE | GROUP | NUMBER | ARC | CHORD | CHORD BEARING |
|------|--------------|----------|-------|--------|-------|-------|---------------|
| L1 | N05°20'13" W | 80.57 | L1 | 230107 | 13094 | 13293 | N106°37'28" W |
| L2 | S04°54'31" E | 84.93 | L2 | 260107 | 81532 | 81538 | N104°01'10" W |
| L3 | S33°17'32" W | 82.87 | L3 | 310107 | 73335 | 73338 | N22°09'40" E |
| L4 | S33°17'32" W | 28.26 | | | | | |
| L5 | N57°18'12" E | 23.94 | | | | | |
| L6 | N57°22'04" E | 24.52 | | | | | |
| L7 | N30°51'25" W | 100.00 | | | | | |
| L8 | N05°20'13" W | 85.37 | | | | | |
| L9 | N05°20'13" W | 84.63 | | | | | |



SITE DATA
OWNER
 COPPERFIELD APARTMENTS, LLC
 3010 HIGH POINT CH. ROAD
 ASHEBORO, NC 27205
PINS
 56229731280000 TOWN PROPERTY
 56229769120000 APT PROPERTY
 56228788080000 FUTURE COMMERCIAL

ZONED PUD
TOTAL SITE
 ACREAGE +/- 45.62
 2.92 Ac. in commercial Tract
 25.54 Ac. in Apartment Tract
 17.16 Ac. in Townhome tract

IMPERVIOUS SURFACES
TOTAL IMPERVIOUS 13.44 AC. (29.46%)
 2.02 Ac. Towns and Drives
 4.36 Ac. Apts and Clubhouse/pool
 7.16 Ac. Drives, Parking and SW

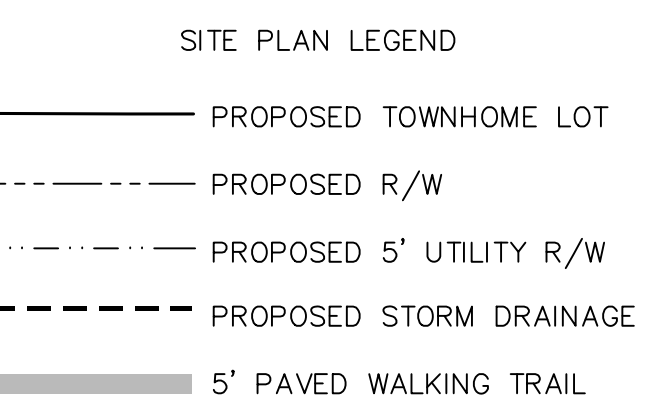
APARTMENT INFORMATION
 15 APARTMENT BUILDINGS
 AT 24 UNITS EACH BUILDING
 360 UNITS PROPOSED

PARKING DATA
 1.5/ UNIT MIN = 540 SPACES MINIMUM
 2.5/UNIT MAX = 900 SPACES MAXIMUM
 712 SPACES PROVIDED INCLUDING
 30 HANDICAP AND 33 COVERED

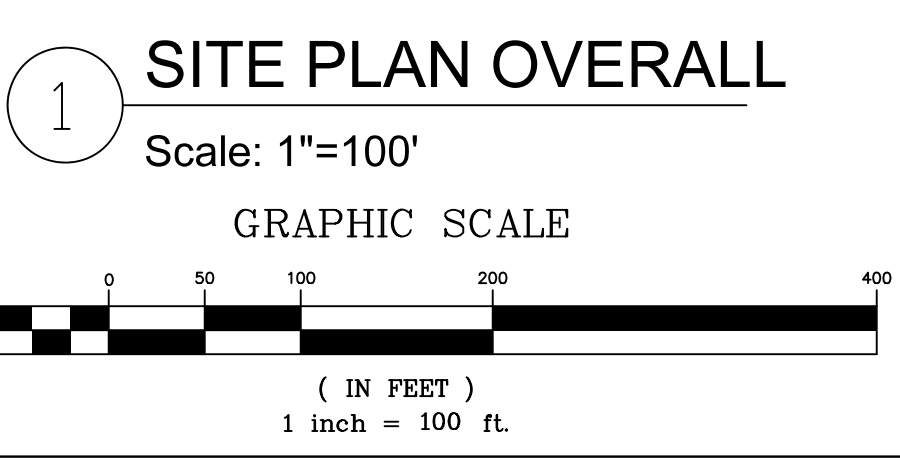
TOWNHOME INFORMATION
 13 BUILDINGS WITH 4 TOWNS PER BLDG
 1 BUILDING WITH 3 TOWNS PER BLDG
 63 TOWNHOMES PROPOSED

TOTAL LOTS
 1 COMMERCIAL LOT
 1 APARTMENT LOT
 63 TOWNHOUSE LOTS
TOTAL OF 65 LOTS WITH COS

SITE NOTES
 IMPROVEMENTS PER APPROVED TIS ARE PART OF THIS DEVELOPMENT. A 5' PUBLIC EASEMENT ON EACH SIDE OF PUBLIC ROAD IS REQUIRED. WATER AND SEWER SERVING TOWNHOME AREA IS PUBLIC WATER IN APARTMENT AREA IS PRIVATE SEWER EXCLUSIVELY SERVING APARTMENTS IS PRIVATE



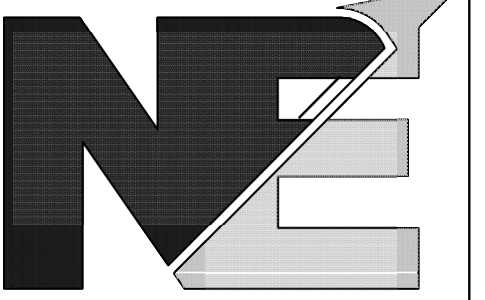
Site notes:
 All jurisdictional streams(both mapped and unmapped) are subject to stream buffers per city of Concord Development Ordinance, Article 4 – Section 4.3.
 Any work within 100 yr. floodplain must be in accordance with City of Concord Development Ordinance, Article 4-Section 4.7.
 Any movement of existing electric utilities can be at owner/developer costs.
 Off site traffic improvements shall be installed in accordance with approved TIA, including traffic signal at Copperfield and Vinehaven, extended westbound turn lane and left/right turnlane with full storage on Vinehaven and entrance road.
 Sanitary sewer alignment is subject to change based on construction plan review.



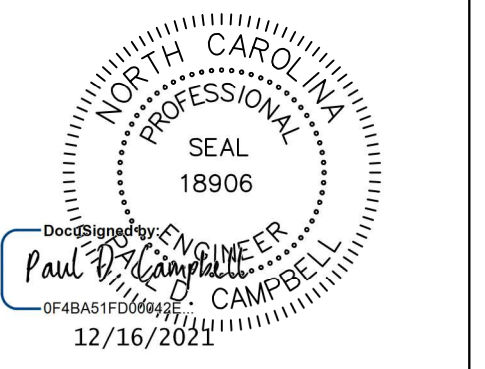
FIRE NOTES:
 FDC'S ARE NOT CURRENTLY SHOWN. THEY WILL BE SHOWN ON THE CONSTRUCTION DRAWINGS. ALL BUILDINGS WILL BE SPRINKLED, MAXIMUM APARTMENT BUILDING HEIGHT IS 48'-9". CONSTRUCTION TYPE IS STICK WOOD BUILT AND 3 STORIES. LARGEST APT. BUILDING SQUARE FOOTAGE IS 34,940 SF UNDER ROOF AND 29,724 SF HEATED. ACCESS TO SITE IS GAINED FROM BOTH VINEHAVEN AND CROSSPOINTE DRIVES. FH AND WATERLINE LOCATIONS ARE SCHEMATIC. THEY WILL BE FINALIZED AS PART OF CONSTRUCTION DRAWINGS. COMMERCIAL DEVELOPMENT IS A FUTURE PHASE. NO SPECIFICS ARE YET KNOWN.

GENERAL NOTES

- A. ALL WORK TO BE DONE IN ACCORDANCE WITH CITY OF CONCORD, WSACC, NCDOT, NCD&NR STANDARD SPECIFICATIONS AND PROJECT SPECIFICATIONS. WHEN SPECIFICATIONS ARE IN CONFLICT THE STRICTER SHALL BE HELD.
- B. ALL BENCHMARK LOCATIONS AND ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
- C. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ONLY. ANY DAMAGE DONE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THIS PLAN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THE PLAN, PRIOR TO BEGINNING CONSTRUCTION. TO ENSURE PROPER LOCATION OF UTILITIES, THE CONTRACTOR SHALL CONTACT NCOCC (NC ONE CALL CENTER) AT 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- D. THE CONTRACTOR SHALL PROVIDE THE APPROPRIATE BARRICADES, WARNING LIGHTS AND SIGNS TO ENSURE THE SAFETY OF THE PUBLIC AT ALL TIMES.
- E. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION. ANY SIGNIFICANT VARIATIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
- F. DIMENSIONS AS SHOWN, ARE TO FACE OF CURB, FACE OF BUILDING, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- G. LANDSCAPE CONTRACTOR SHALL HAVE UNDERGROUND UTILITY CONTRACTOR LOCATE UTILITIES PRIOR TO INSTALLATION OF TREES AND SHRUBS.
- H. SEWER SERVICE LATERALS AND WATER SERVICE CONNECTIONS AND MAINS, ARE SUBJECT TO THE MINIMUM CLEARANCE REQUIREMENTS OF TEN (10) FEET HORIZONTAL AND TWENTY FOUR (24) INCHES VERTICAL FROM THE MAIN, WHEN ONE LINE IS ABOVE OR BELOW BUT LESS THAN TWENTY FOUR (24) INCHES CLEARANCE, BOTH LINES SHALL BE CONSTRUCTED TO CLASS 50 D.I.P. WITH MECHANICAL JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET MEASURED AT RIGHT ANGLES ON EACH SIDE OF SAID LINES.
- I. WHENEVER A WATER MAIN CROSSES OVER A BURIED UTILITY DITCH, EITHER OVER OR UNDER WITH LESS THAN TYP (2) FEET OF VERTICAL CLEARANCE, THE UTILITY DITCH SHALL BE SPANNED WITH D.I.P. FOR A DISTANCE OF TEN (10) FEET EACH SIDE OF SAID LINE.
- J. THREE (3) FEET MINIMUM COVER SHALL BE PROVIDED FOR ALL WATER AND SEWER LINES UNLESS FERROUS MATERIAL PIPE IS SPECIFIED. FERROUS MATERIAL PIPE OR OTHER PIPE WITH THE PROPER BEDDING TO DEVELOP THE REQUIRED DESIGN SUPPORTING STRENGTH SHALL BE PROVIDED WHERE WATER AND SEWER LINES ARE SUBJECT TO TRAFFIC BEARING LOADS.
- K. THE EXISTING UTILITIES SHALL REMAIN IN SERVICE UNTIL NEW LINES ARE IN PLACE AND ACTIVATED. THE CONTRACTOR SHALL COORDINATE REMOVAL OF SERVICES WITH THE APPROPRIATE UTILITY COMPANY AND THE OWNER.
- L. THE ENGINEER HAS MADE NO EXAMINATION TO DETERMINE WHETHER ANY HAZARDOUS OR TOXIC MATERIALS ARE PRESENT OR CONTAINED IN, UNDER, OR ON THE SUBJECT PROPERTY OR ITS WATERS; OR IF ANY HAZARDOUS OR TOXIC MATERIALS HAVE CONTAMINATED THIS OR OTHER PROPERTIES OR ITS WATERS IN ANY WAY WHATSOEVER. NO SUBSURFACE EXAMINATION OF ANY TYPE HAS BEEN MADE BY THE ENGINEER AND ACCORDINGLY, NO OPINION EXPRESSED OR INFERRED ON ALL SUCH MATTERS. FURTHER, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ANY ENVIRONMENTAL LAWS OR REGULATIONS, EITHER FEDERAL, STATE OR LOCAL, RELATED TO THE INFORMATION SHOWN ON THIS PLAN AND THE ENGINEER IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD THEY EXIST.
- M. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER, HARMLESS FROM ANY KIND OF LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OR ANY WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- N. AT ALL TIMES, THE CONTRACTOR SHALL PERFORM PROJECT DEMOLITION WITH MINIMAL DISTURBANCE TO THE ADJACENT PROPERTIES. ALL DEBRIS GENERATED DURING THE DEMOLITION PHASE OF THE PROJECT, SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



41 Edgewood Avenue, NE
 Concord, NC 28025
 P 704.788.6372
 F 704.786.4750
 www.nee-pa.com



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Prepared for:
 Copperfield Apartments, LLC
 323 NC Hwy 49, South
 Asheboro, NC 27205
 Darren Lucas
 336-669-7683

COPPERFIELD APARTMENTS
 CONCORD, NORTH CAROLINA
SITE PLAN OVERALL

| # | DATE | REVISION | BY | |
|---|---------|----------|------------------------------|------------------------------|
| | | | PER CITY OF CONCORD COMMENTS | PER CITY OF CONCORD COMMENTS |
| 1 | 6-24-20 | | | |
| 2 | 5-3-21 | | | |

SCALE: 1" = 100'
 DATE: 4/9/18
 JOB # 2017-009
 C - 2.0

Residential

Holly Grove Subdivision (PRS2021-02142)

2975 Concord Pkwy S.

| First Submittal | Last Submittal | Units | Technically Approved |
|------------------------|-----------------------|---------------|-----------------------------|
| 7/16/2021 | 2/4/2021 | 134 townhomes | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|--------------|-------------|-------------|-------------|
| 30480 | 12000 | 12000 | 6480 |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|------------------------|---------------------------|---------------------------|-----------------------------|-----------------------|---|---------------|--------------|
| 0 | 0 | 0 | 1 | 0 | 1 | 0 | 2 |

Brief Summary

134 townhomes on Concord Pkwy South. The property was voluntarily annexed on December 31, 1995. Rezoning case Z(CD) 01-20 approved via super-majority by Planning and Zoning Commission December 15, 2020. The preliminary plat was approved on October 18, 2021. The development includes four (4) anticipated nonresidential buildings (included in separate allocation request).

Outstanding Items

These plans are in review as of 2/11/22. The NCDOT Driveway permit and NCDEQ sedimentation and erosion control permit have not been issued.



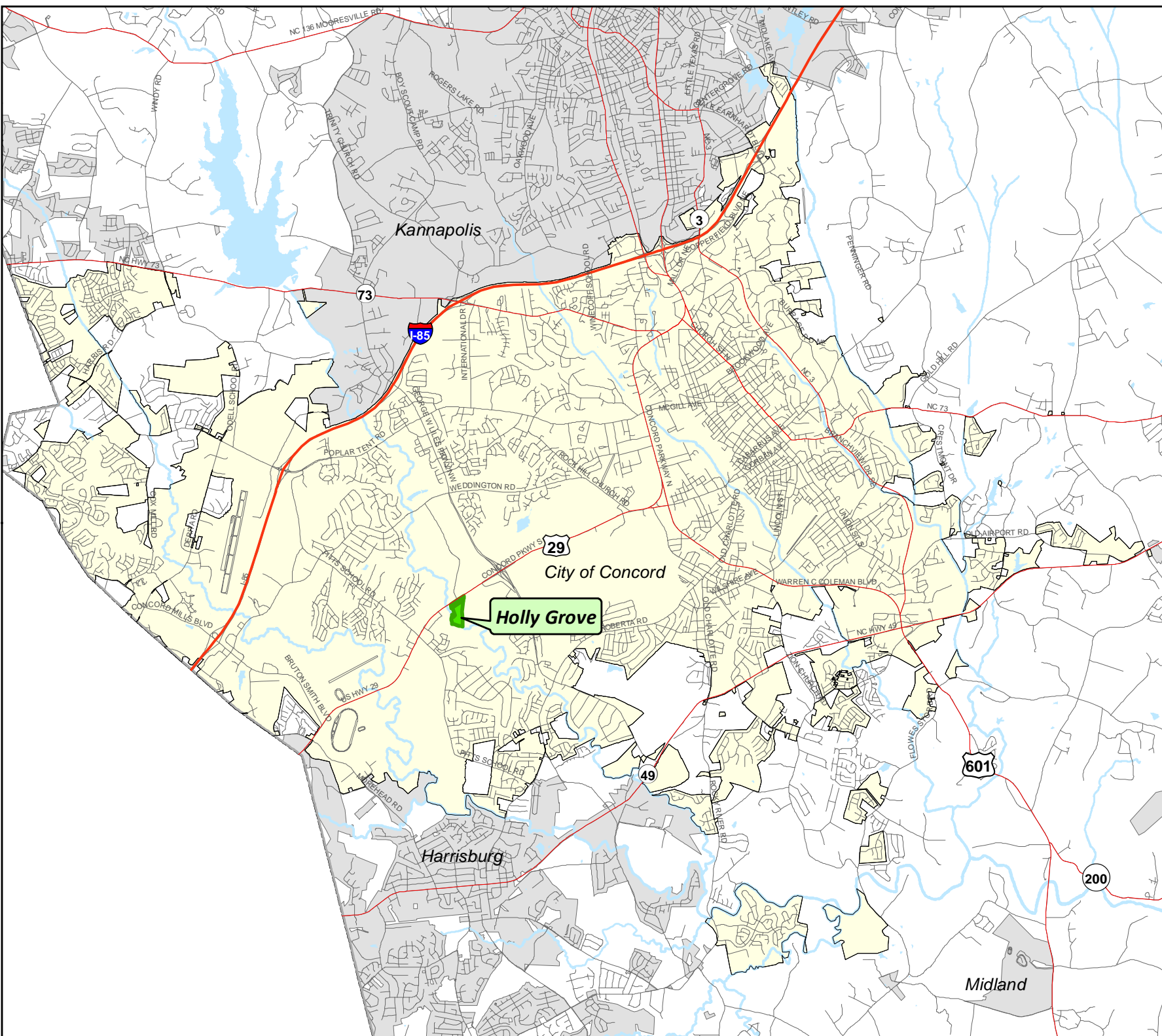
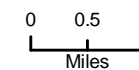
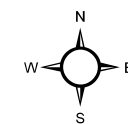
Holly Grove
(PRS2021-02142)

134 Townhomes

Allocation Request:
30,480

Project Scoring: 2

- Holly Grove
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.





City of Concord
City Council
Post Office Box 308
Concord, NC 28026-0308

Re: Holly Grove – Narrative

Dear Council Members:

Holly Grove Subdivision is located on the South side of Concord Pkwy South, just opposite Concord Farms Road and is +/- 31.74 acres. It lies along the Highway 29 Corridor, located within a few miles to the Charlotte Motor Speedway, Concord Mills, and other attractions for residents and visitors, also known as the “Public Interest District.”

The property was zoned PUD in December 2020 and found to be consistent with the 2030 Land Use Plan. The project contains a unique mix of commercial and residential uses making them highly walkable between the uses. We have 40,000 sf of office and retail along the frontage and 127 residential townhomes.

We will build the residential townhomes first; then follow with commercial & retail. The townhomes are designed with livable floor plans and energy-efficient features. The anticipated sale price of the homes will be \$350,000 which puts the entire project value/tax basis at over \$50,000,000.

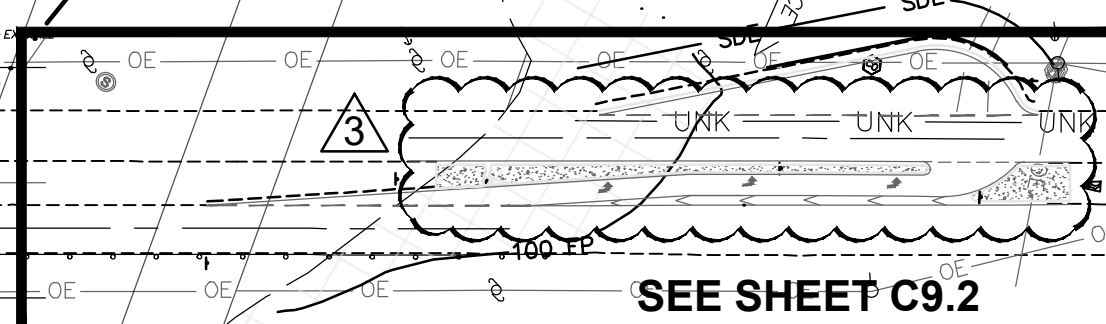
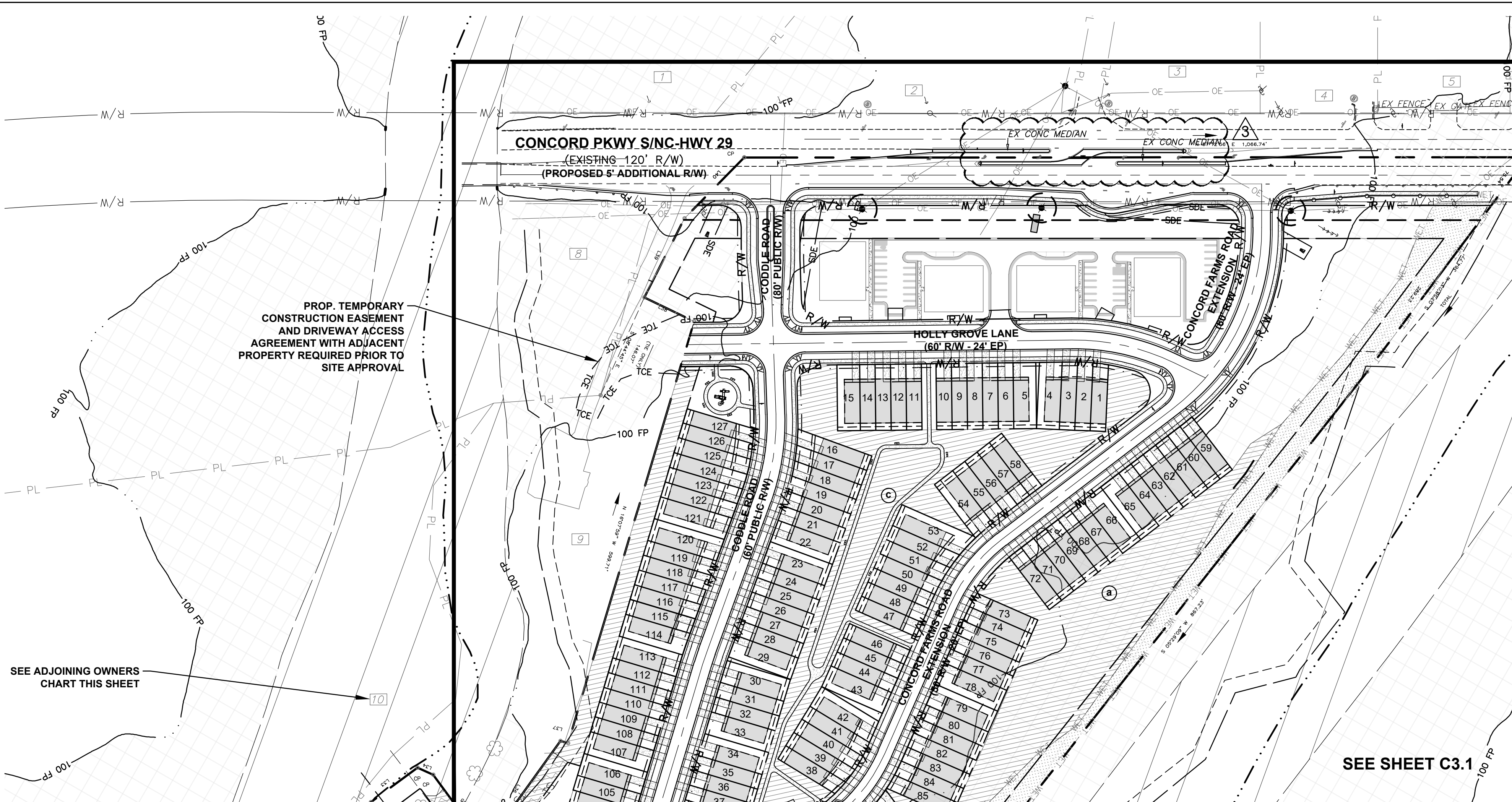
We are proud that our site offers 51% of total area in dedicated open space which includes 3 mini parks, walkways, trees, benches, playgrounds, and 2 community gardens located throughout the site. We also are dedicating a greenway easement to connect our project to the future greenway system.

Thank you for your consideration for the wastewater flow allocation and look forward to building another successful project in the City of Concord.

Sincerely,

Carolina Development Services, LLC

| GENERAL LEGEND | | |
|--|----------|----------|
| FEATURE | EXISTING | PROPOSED |
| PARCEL LINE (PROPOSED) | | |
| PROPERTY LINE (EXISTING/JOINING) | PL | |
| PROJECT BOUNDARY (SITE) | | |
| EASEMENT (OTHER) | | |
| EASEMENT (STORM DRAINAGE) | SDE | SDE |
| EASEMENT (SIDEWALK) | | |
| EASEMENT (SEWER) | | |
| EASEMENT (TEMP. CONSTRUCTION) | | TCE TCE |
| RAIL ROAD | | |
| RIGHT-OF-WAY (ROAD) (CLT/WATER) | | R/W |
| RIGHT-OF-WAY (ROAD) | R/W | R/W |
| BUFFER | | |
| BUILDING SETBACK | | |
| POND / WATER FEATURE | | |
| TOP OF BANK | ---TB | |
| BOTTOM OF BANK | ---BB | |
| MAJOR TOPO CONTOUR | ---630 | ---650 |
| MINOR TOPO CONTOUR | ---646 | ---648 |
| FENCE LINE | X | X |
| GUARDRAIL | | |
| Q CREEK/STREAM | | |
| Q DITCH/SWALE | | |
| Q ROAD | | |
| TREE LINE | | |
| WETLAND BOUNDARY | WET | WET |
| OVERHEAD UTILITY | OU | OU |
| SANITARY SEWER | SS | SS |
| STORM | SD | SD |
| UNDERGROUND GAS | GAS | GAS |
| UNDERGROUND TELEPHONE | UT | UT |
| UNDERGROUND WATERLINE | W | W |
| PEDESTRIAN RAILS | | |
| SANITARY EASEMENT | | |
| TREE SAVE AREA | | |
| COMMON OPEN SPACE (COS) | | |
| POST-CONSTRUCTION STORMWATER ORDINANCE (PCSO) WATER QUALITY BUFFER | PCCE | PCCE |
| BUILDING UNITS | | |
| ROAD STRIPE [PASSING] | | |
| ROAD STRIPE [MINI SKIP] | | |
| FEMA 100-YR FLOOD ZONE | | 100 FP |
| FEMA 500-YR FLOOD ZONE | | |
| FEMA FLOODWAY | | |



OWNER:
 NAME: TOWN & COUNTRY DEVELOPERS LLC
 ADDRESS: P.O. BOX 429, MONROE, NC 28111

DEVELOPER:
 NAME: CAROLINA DEVELOPMENT SERVICES, LLC
 ADDRESS: 2627 BRECKONRIDGE CENTRE DRIVE
 CONTACT: TONYA JONES
 PHONE #: (704) 774-1964
 EMAIL: TJONES@CAROLINA-DEVELOPMENT.COM

SITE STATISTICS

| | |
|---------------------|--|
| TAX MAP & PARCEL #: | 55096621410000 |
| CASE NUMBER: | Z(CD) 01-20 |
| DEVELOPER: | CAROLINA DEVELOPMENT SERVICES, LLC |
| PROJECT AREA: | 31.744 ACRES |
| TOTAL PROJECT AREA: | ±31.744 ACRES |
| ANTICIPATED DATE: | APRIL 2022 |
| EXISTING ZONING: | PUD |
| EXISTING LAND USE: | VACANT |
| EXISTING LOTS: | 1 LOT |
| PROPOSED LAND USE: | TOWNHOMES, NON-RESIDENTIAL |
| PROPOSED UNITS: | 127 TOWNHOUSE UNITS, 4 GENERAL OFFICE BUILDINGS (40,320 GFA TOTAL) |
| | 4.00 UNITS/ACRE |

PROPOSED DENSITY (DUA): 4.00 UNITS/ACRE

MINIMUM SETBACKS FOR TOWNHOUSES:

| | |
|-----------------|------------------------------|
| FRONT: | 20' |
| GARAGE SETBACK: | 24' (SEE SHEET C1.1) |
| SIDE CORNER: | 0' (20' BUILDING SEPARATION) |
| SIDE: | 0' (20' BUILDING SEPARATION) |
| REAR: | 10' |

REQUIRED COMMON OPEN SPACE: 25% OF SITE (7.94 AC)
PROVIDED COMMON OPEN SPACE: ±9.57 ACRES (30.1%)
PROVIDED ACTIVE SPACE: ±1.64 ACRES
PROVIDED PASSIVE SPACE: ±7.93 ACRES

PARK AREA 1: ±0.06 ACRES
PARK AREA 2: ±0.31 ACRES
PARK AREA 3: ±0.09 ACRES
GREENWAY TRAIL EASEMENT: ±0.28 ACRES

REQUIRED TREE SAVE: 12.4% OF GROSS SITE OR 3.93 ACRES
PROVIDED TREE SAVE: 14.1% OF GROSS SITE OR 4.48 ACRES

REQUIRED STREET TREES: 1 SHADE TREE EACH SIDE OF ROAD PER 50'
PROVIDED STREET TREES: 3,229 FEET OF STREETS = 65 REQUIRED TREES (LOCATION OF STREET TREES TBD)

CONNECTIVITY RATIO: 7 LINKS / 3 NODES = 2.33

IMPERVIOUS AREAS:

| | |
|--------------------------------|------------------------------|
| PAVEMENT (ROADS & PARKING): | 124,750 SF (2.864 AC) |
| SIDEWALKS: | 50,800 SF (1.16 AC) |
| DRIVEWAYS: | 51,500 SF (1.18 AC) |
| RESIDENTIAL PADS (21'X80'): | 160,020 SF (3.67 AC) |
| GENERAL OFFICE PADS (63'X80'): | 20,160 SF (0.463 AC) |
| TOTAL IMPERVIOUS: | 407,030 SF (9.34 AC) |
| IMPERVIOUS SURFACE RATIO: | 9.344/31.744 X 100% = 29.44% |
| IMPERVIOUS SURFACE MAXIMUM: | 50% |

LEGAL DESCRIPTION:

LYING AND BEING IN NUMBER TWO (2) TOWNSHIP, CABARRUS COUNTY, NORTH CAROLINA, ON THE SOUTH SIDE OF CONCORD PARKWAY/HIGHWAY 29, ADJOINING THE PROPERTY OF JACK ROUSH, LLC, NOW OR FORMERLY (BOOK 3089, PAGE 21); HOLLY GROVE BAPTIST CHURCH, NOW OR FORMERLY (BOOK 183, PAGE 224); AND THE PROGRESSIVE GROUP, NOW OR FORMERLY (BOOK 2883, PAGE 156) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A CALCULATED POINT IN THE CENTERLINE OF CONCORD PARKWAY/HIGHWAY 29, SAID POINT BEING S. 57-28-35 W. 5,594.93 FEET (GROUND) FROM NCGS MONUMENT "ARBOR" WHICH HAS COORDINATES N: 599,756.79 AND E: 1,511,395.12; THENCE FROM THE POINT OF BEGINNING, WITH THE LINE OF JACK ROUSH, LLC AS NOTED ABOVE, THE FOLLOWING THREE (3) LINES: 1) S. 03-59-59 W. 364.79 FEET (PASSING AN IRON ROD FOUND AT 75.12 FEET AND AT 289.96 FEET) TO AN IRON ROD FOUND (#4 REBAR); 2) S. 05-31-04 W. 867.23 FEET TO AN IRON ROD FOUND (#4 REBAR); AND 3) S. 01-18-56 E. 1066.23 FEET (PASSING AN IRON ROD FOUND AT 1025.65 FEET) TO A CALCULATED POINT IN THE CENTERLINE OF CODDLE CREEK, THENCE WITH THE CENTERLINE OF CODDLE CREEK THE FOLLOWING THIRTY-TWO (32) LINES: 1) N. 53-02-06 W. 99.58 FEET TO A POINT; 2) N. 65-40-14 W. 14.94 FEET TO A POINT; 3) S. 81-54-54 W. 28.19 FEET TO A POINT; 4) S. 38-56-29 W. 40.16 FEET TO A POINT; 5) S. 76-26-33 W. 23.54 FEET TO A POINT; 6) S. 84-25-32 W. 27.53 FEET TO A POINT; 7) N. 80-11-48 W. 16.02 FEET TO A POINT; 8) S. 79-03-27 W. 20.01 FEET TO A POINT; 9) N. 72-08-22 W. 52.24 FEET TO A POINT; 10) N. 61-49-28 W. 48.59 FEET TO A POINT; 11) N. 69-14-17 W. 24.70 FEET TO A POINT; 12) N. 58-49-18 W. 34.26 FEET; 13) N. 57-38-19 W. 29.48 FEET TO A POINT; 14) N. 38-17-40 W. 23.84 FEET TO A POINT; 15) N. 56-53-45 W. 36.16 FEET TO A POINT; 16) N. 71-25-48 W. 23.25 FEET TO A POINT; 17) N. 78-10-23 W. 32.43 FEET TO A POINT; 18) N. 80-13-33 W. 38.19 FEET TO A POINT; 19) N. 84-07-10 W. 33.47 FEET TO A POINT; 20) N. 77-37-18 W. 20.05 FEET TO A POINT; 21) N. 61-48-01 W. 18.96 FEET TO A POINT; 22) N. 50-22-12 W. 15.37 FEET TO A POINT; 23) N. 39-42-07 W. 42.36 FEET TO A POINT; 24) N. 53-28-19 W. 40.00 FEET TO A POINT; 25) N. 32-20-32 W. 146.20 FEET TO A POINT; 26) N. 02-48-53 W. 83.54 FEET TO A POINT; 27) N. 14-06-25 E. 63.71 FEET TO A POINT; 28) N. 09-56-20 W. 24.59 FEET TO A POINT; 29) N. 00-46-04 W. 43.04 FEET TO A POINT; 30) N. 09-42-09 W. 27.74 FEET TO A POINT; 31) N. 00-10-22 W. 31.26 FEET TO A POINT; 32) N. 18-11-24 E. 36.10 FEET TO A POINT; AND 33) N. 20-38-09 E. 79.28 FEET TO A POINT, THENCE LEAVING THE CENTERLINE OF CODDLE CREEK, N. 81-58-21 E. 23.54 FEET TO AN IRON STAKE FOUND ON AN OLD BRIDGE, CORNER OF HOLLY GROVE BAPTIST CHURCH, AS NOTED ABOVE; THENCE TWO LINES WITH THE CHURCH AS FOLLOWS: 1) S. 69-02-12 E. 119.84 FEET TO AN IRON PIN SET, AND 2) N. 03-00-56 E. 175.60 FEET TO AN IRON PIN SET, THENCE TWO NEW LINES AS FOLLOWS: 1) N. 73-53-56 E. 10.76 FEET TO A SET IRON PIN; AND 2) N. 16-06-04 W. 199.71 FEET TO A SET IRON PIN IN THE LINE OF THE CHURCH; THENCE WITH THE LINE OF THE CHURCH TWO LINES AS FOLLOWS: 1) N. 16-06-04 W. 400.00 FEET TO A SET IRON PIN; AND 2) S. 83-07-56 W. 75.28 FEET TO A SET IRON PIN IN THE LINE OF THE CHURCH; THENCE WITH THE LINE OF THE CHURCH TWO LINES AS FOLLOWS: 1) N. 05-45-38 W. 120.89 FEET TO A SET IRON PIN; AND 2) N. 11-41-52 E. 116.06 FEET TO A POINT IN THE CENTERLINE OF CONCORD PARKWAY/HIGHWAY 29; THENCE WITH THE CENTERLINE OF CONCORD PARKWAY/HIGHWAY 29, N. 57-14-51 E. 1066.74 FEET TO THE POINT OF BEGINNING, CONTAINING 31.789 ACRES, MORE OR LESS, AS PLATTED AND SURVEYED BY LAWRENCE J. WHITAKER, PLS, MAY 17, 2007.

GREENWAY DEDICATION FOR FUTURE CODDLE CREEK GREENWAY (10,942 SF OR 0.25 AC.)

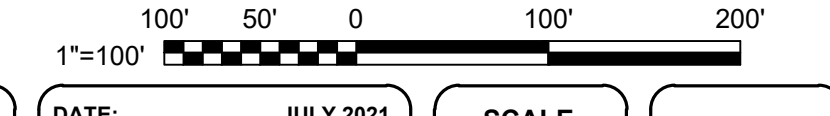
PROP. STORMWATER BMP

| COS | COS AREA | TYPE | % |
|---------------|---------------------------|---------|------------|
| A | 172,340 SF (3.96 AC) | PASSIVE | 41.3 |
| B | 173,172 SF (3.98 AC) | PASSIVE | 41.5 |
| C | 52,632 SF (1.21 AC) | ACTIVE | 12.7 |
| D | 18,719 SF (0.43 AC) | ACTIVE | 4.5 |
| TOTAL: | 416,863 (9.57 AC.) | | 100 |

| TS | TREESAVE AREA |
|--------------|-----------------------------|
| A | 173,172 SF (3.98 AC) |
| TOTAL | 173,172 SF (3.98 AC) |

| GR | GREENWAY AREA | % |
|----|----------------------|-----|
| A | 173,172 SF (3.98 AC) | 100 |

| ADJOINING OWNERS | | | | |
|------------------|------------------------------|-----------------|----------------|--------|
| NUMBER | OWNER NAME (NOW OR FORMERLY) | DB & PG NUMBER | PARCEL NUMBER | ZONING |
| 1 | LEONARD DOVER & LUTIE DOVER | | | |
| 2 | INVESTMENTS LLP | DB 13922 PG 131 | 55093466140000 | C-2 |
| 3 | JLP HOLDINGS LLC | DB 9010 PG 301 | 55095694690000 | I-1-CU |
| 4 | JARRELL WHITLEY LLC | DB 2807 PG 224 | 55096616920000 | C-2 |
| 5 | BLACKWELDER & COMPANY | DB 1846 PG 129 | 55096637090000 | C-2 |
| 6 | JAMES MORRISON JR | DB 10032 PG 218 | 55096649120000 | C-2 |
| 7 | PARKWAY PARK CONDOMINIUM | DB 11671 PG 229 | 55096751030000 | C-2 |
| 8 | MPI CONCORD LLC | DB 12762 PG 226 | 55096669660000 | C-2-CU |
| 9 | HMY 29 COMMERCIAL LLC | DB 15205 PG 288 | 55096621410000 | C-2 |
| 10 | HOLLY GROVE BAPTIST CHURCH | DB 73 PG 308 | 55096637090000 | C-2 |
| 11 | PARKWAY STATION OWNER LLC | DB 14548 PG 107 | 55095448540000 | RC |
| 12 | MORRIS JANIC COCHRAN | DB 643 PG 259 | 55097361790000 | RM-2 |
| 13 | JRC INVESTMENTS LLC | DB 8456 PG 142 | 55097549530000 | CD |
| 14 | JR DEVELOPERS | DB 8336 PG 60 | 55095367500000 | C-2 |



| NO. | REVISIONS PER CITY AND NCDOT COMMENTS | DATE |
|-----|---------------------------------------|----------|
| 3 | REVISIONS PER CITY AND NCDOT COMMENTS | 02/02/22 |
| 2 | REVISIONS PER NCDOT COMMENTS | 01/10/22 |
| 1 | REVISIONS PER CITY AND NCDOT COMMENTS | 11/16/21 |



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MCKIM & CREED
 8020 Tower Point Drive
 Charlotte, North Carolina 28227
 Phone: (704) 841-2588, Fax: (704) 841-2567
 NC License# F-1222
 www.mckimcreed.com

**HOLLY GROVE SUBDIVISION
 CONCORD PARKWAY SOUTH
 CONCORD, NC 28027**

SITE PLAN (OVERALL)

DATE: JULY 2021
 MCE PROJ. #: 08263-0001
 DRAWN: JPM
 DESIGNED: CAC
 CHECKED: KDD
 PROJ. MGR: KDD

SCALE: HORIZONTAL: 1" = 100', VERTICAL: N/A

C3.0
 DRAWING NUMBER: 3
 REVISION: 3

STATUS: **PRELIMINARY DRAWING
 NOT FOR CONSTRUCTION**

Residential

Cambridge Corners (PRS2020-03889)

3505 US Hwy 601

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|---------------|----------------------|
| 12/22/2020 | 9/8/2021 | 194 Townhomes | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|-------|-------|-------|-------|
| 46560 | 12000 | 12000 | 22560 |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|-----------------|--------------------|--------------------|----------------------|----------------|------------------------------------|--------|-------|
| 0 | 0 | 0 | 1 | 0 | 1 | 0 | 2 |

Brief Summary

194 Townhomes. The subdivision takes access through the Food Lion shopping center at the corner of Hwy 601 and Hwy 49. Mixed use consideration is given due to it's connection to/through this shopping center.

The preliminary plat was approved on October 23, 2020.

Outstanding Items

There are 32 open issues on this site plan. Many are in regards to utility design and technical standards; however, several are regarding the connection through the Food Lion parking lot. Furthermore, they have not submitted an approved NCDEQ Sedimentation and Erosion Control Permit nor utility permit applications.

Cambridge Corners

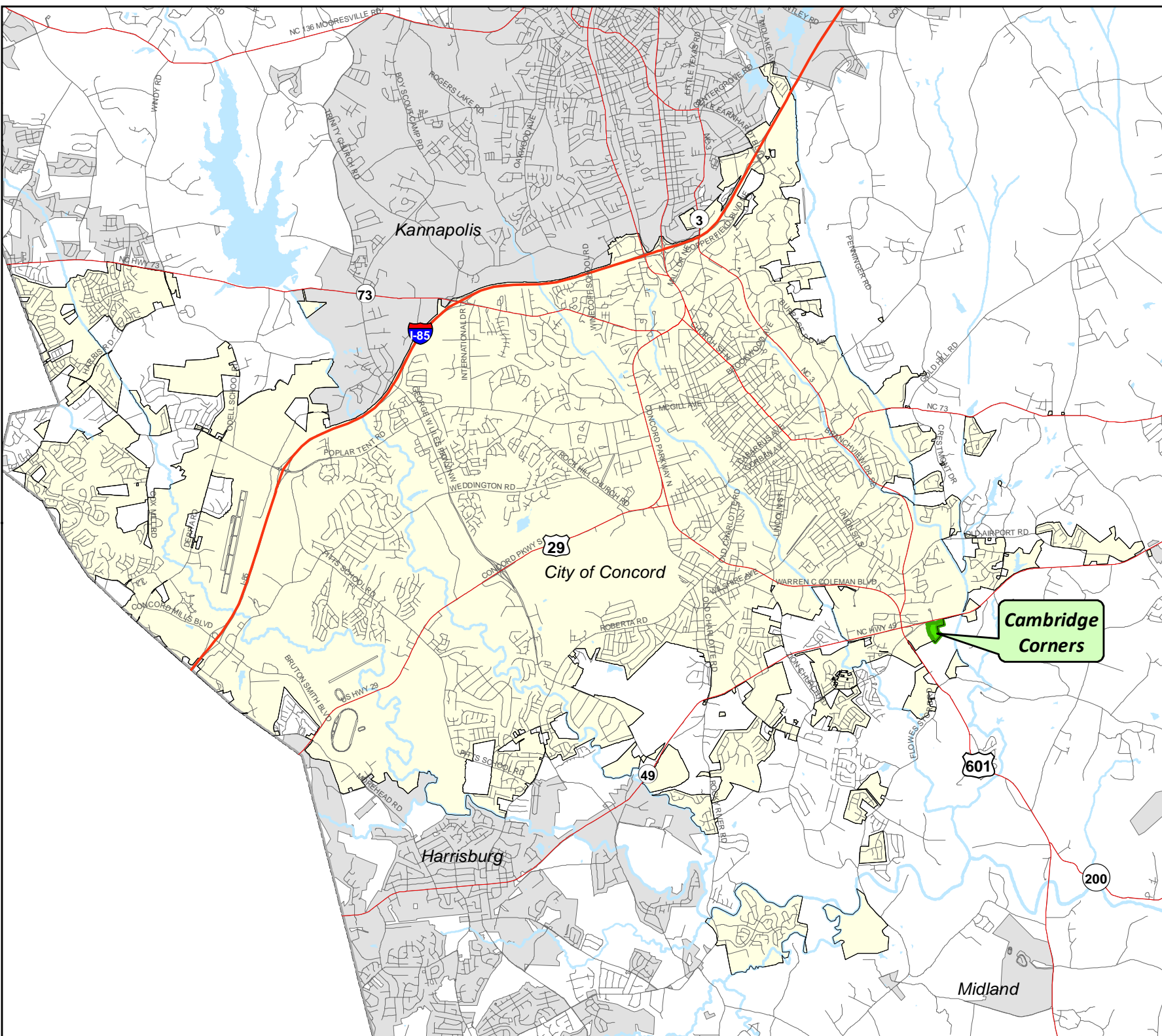
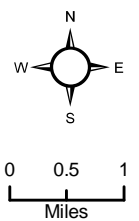
(PRS2020-03889)

194 Townhomes

Allocation Request:
46,560

Project Scoring: 1

- Cambridge Corners
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.



The Cambridge Corners Townhome community is a planned neighborhood consisting of 194 attached single family subdivision. The property is zoned C2. It will include walking trails and open space along streams and woodland. All units will include a 1 car garage, 3 bedrooms priced in the low 200's. All construction will meet or exceed current water saving standards.

The project is anticipated to be developed in 3 phases as indicated on the utility layout attached. The utility plans have gone through 2 reviews and was down to minor issues when significant unforeseen access and easement issues arose. Those issues have been resolved through the minor revision of providing the access to highway 49. The connection point has been reviewed by Mark Morgan of NCDOT and accepted with the addition of an extended lane on HWY 49 to a drop lane at our entrance. Cambridge Corners, LLC has obtained agreement to purchase the needed land from Werner Mathis inc.

Based on the above, we expect to submit approvable plans on or before your allocation approval currently scheduled for March.

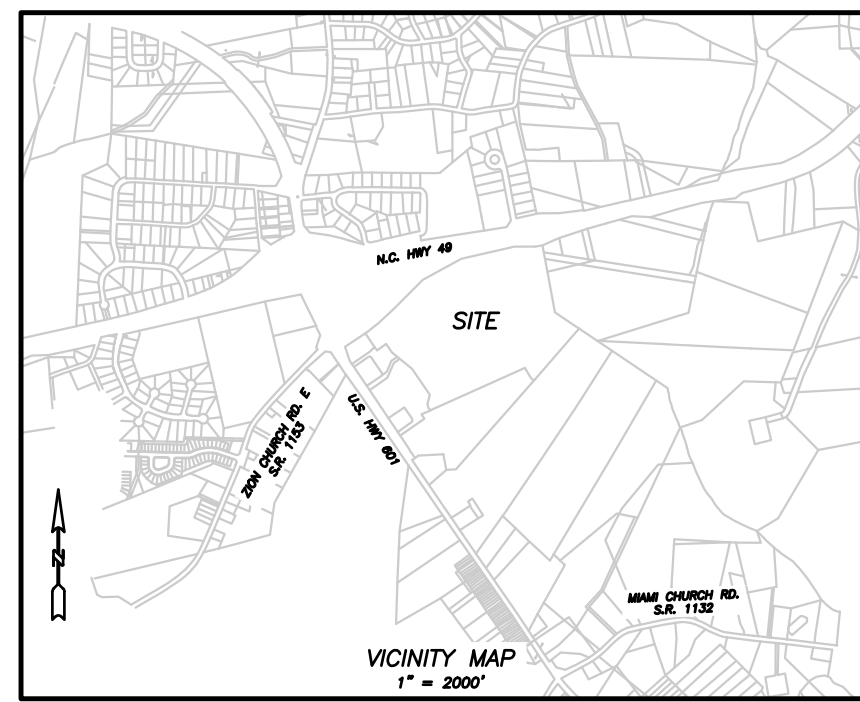
The executed Preliminary Wastewater Flow Application is attached. Should you have any question, please do not hesitate to call, or otherwise contact me or the owner.

Bob Davis, PE

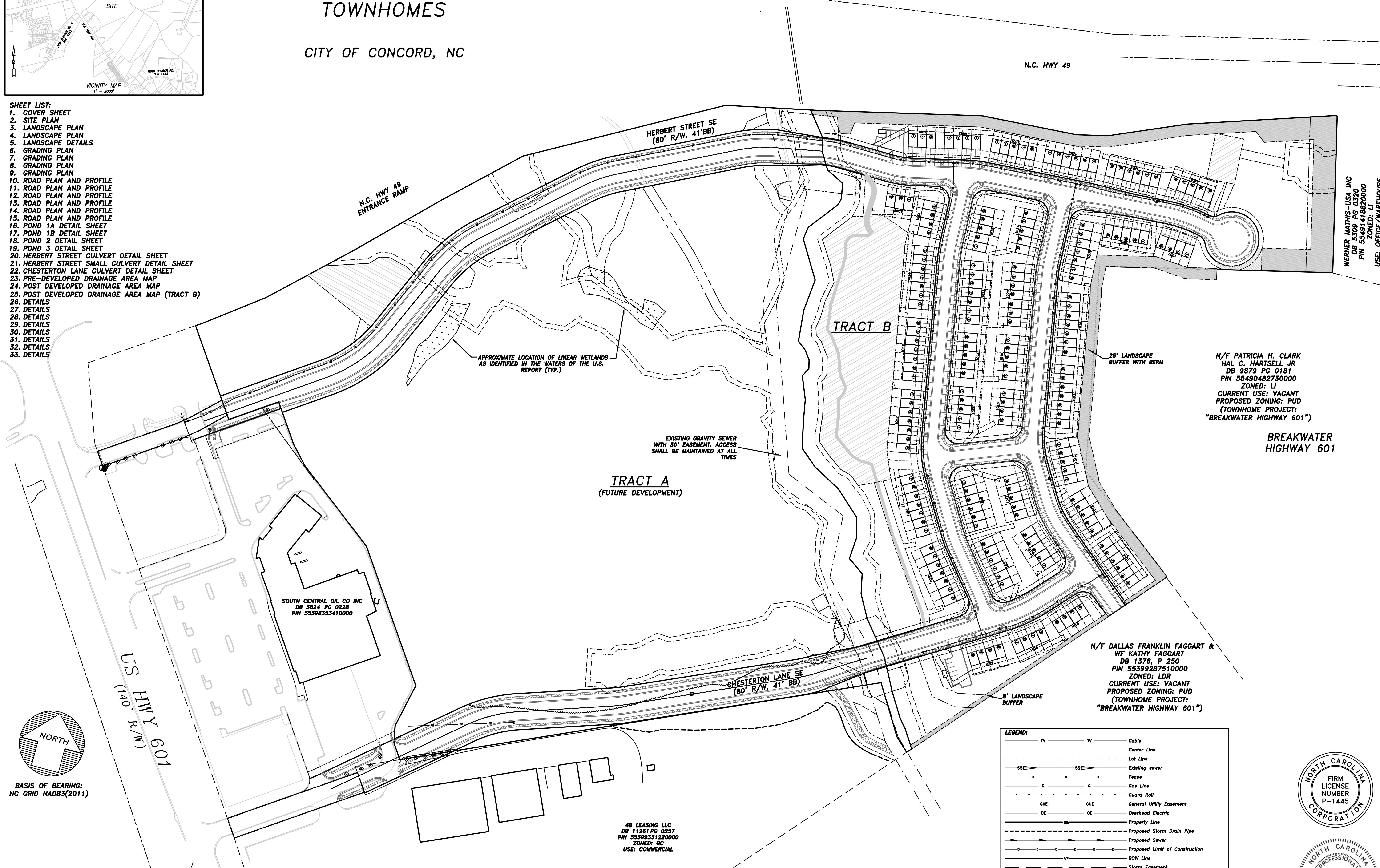
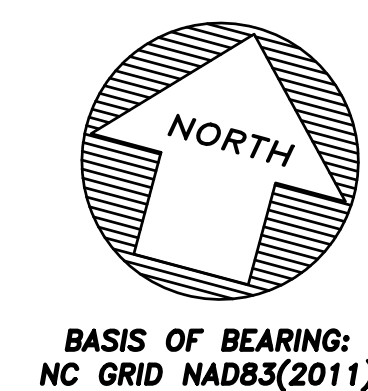
RDDavis Engineering, PLLC

CONSTRUCTION PLANS
FOR
CAMBRIDGE COMMONS
TOWNHOMES

CITY OF CONCORD, NC



- SHEET LIST:
1. COVER SHEET
 2. SITE PLAN
 3. LANDSCAPE PLAN
 4. LANDSCAPE PLAN
 5. LANDSCAPE DETAILS
 6. GRADING PLAN
 7. GRADING PLAN
 8. GRADING PLAN
 9. GRADING PLAN
 10. ROAD PLAN AND PROFILE
 11. ROAD PLAN AND PROFILE
 12. ROAD PLAN AND PROFILE
 13. ROAD PLAN AND PROFILE
 14. ROAD PLAN AND PROFILE
 15. ROAD PLAN AND PROFILE
 16. POND 1A DETAIL SHEET
 17. POND 1B DETAIL SHEET
 18. POND 2 DETAIL SHEET
 19. POND 3 DETAIL SHEET
 20. HERBERT STREET CULVERT DETAIL SHEET
 21. HERBERT STREET SMALL CULVERT DETAIL SHEET
 22. CHESTERTON LANE CULVERT DETAIL SHEET
 23. PRE-DEVELOPED DRAINAGE AREA MAP
 24. POST DEVELOPED DRAINAGE AREA MAP
 25. POST DEVELOPED DRAINAGE AREA MAP (TRACT B)
 26. DETAILS
 27. DETAILS
 28. DETAILS
 29. DETAILS
 30. DETAILS
 31. DETAILS
 32. DETAILS
 33. DETAILS



LEGEND:

| | | |
|------------------------------------|------------------------------------|------------------------------------|
| TV | TV | Cable |
| Center Line | Center Line | Center Line |
| Lot Line | Lot Line | Lot Line |
| Existing sewer | Existing sewer | Existing sewer |
| Fence | Fence | Fence |
| Gas Line | Gas Line | Gas Line |
| Guard Rail | Guard Rail | Guard Rail |
| General Utility Easement | General Utility Easement | General Utility Easement |
| Overhead Electric | Overhead Electric | Overhead Electric |
| Property Line | Property Line | Property Line |
| Proposed Storm Drain Pipe | Proposed Storm Drain Pipe | Proposed Storm Drain Pipe |
| Proposed Sewer | Proposed Sewer | Proposed Sewer |
| Proposed Limit of Construction | Proposed Limit of Construction | Proposed Limit of Construction |
| ROW Line | ROW Line | ROW Line |
| Storm Easement | Storm Easement | Storm Easement |
| Centerline Stream/Drainage Feature | Centerline Stream/Drainage Feature | Centerline Stream/Drainage Feature |
| Treeline | Treeline | Treeline |
| Tree Save | Tree Save | Tree Save |
| Underground Electric | Underground Electric | Underground Electric |
| Watermain | Watermain | Watermain |
| Wetlands | Wetlands | Wetlands |



RDDAVIS
ENGINEERING, PLLC
P.O. Box 470085
Charlotte, NC 28247-0085
(704) 651-5752

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CAMBRIDGE CORNERS, LLC

Project: **CAMBRIDGE COMMONS**
MULTI-FAMILY TOWNHOME UNITS
CITY OF CONCORD, CABARRUS CO., NC

Sheet Title: **COVER SHEET**

RDD
Project Engineer
RDD
Drawn By
11/1/2020
Date Drawn

Sht. Set / Subset
COVER AND SITE LAYOUT
Dwg. Name

Layout:
Horiz. Scale: 1" = 100'
0 100' 200'
Vert. Scale: 1" = N/A
0

Revisions
No. Date
No. 2 Date 9/7/21
No. 1 Date 4/21/21
Issue Date 12/14/20

Project Number
132-017

Sheet 1 Of 33

9/7/21

Residential

Christenbury Commons Townhomes (PRS2021-02139)

9101 Edenbury Dr.

| First Submittal | Last Submittal | Units | Technically Approved |
|------------------------|-----------------------|--------------|-----------------------------|
| 7/16/2021 | 1/28/2022 | 67 Townhomes | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|--------------|-------------|-------------|-------------|
| 15120 | 12000 | 3120 | |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|------------------------|---------------------------|---------------------------|-----------------------------|-----------------------|---|---------------|--------------|
| 0 | 0 | 0 | 1 | 0 | 1 | 0 | 2 |

Brief Summary

67 townhomes on Edenbury Drive. The property was voluntarily annexed on April 11, 2019. Rezoning case Z(CD) 04-19 approved via super-majority by Planning and Zoning Commission on June 18, 2019. The preliminary plat was approved on June 17, 2021. This project is part of a mixed-use development with apartments and office at the intersection of Christenbury Pkwy and Cox Mill Road.

Outstanding Items

There are 13 open issues. There are conflicts between landscaping and some of the utilities, the NCDEQ Sedimentation and Erosion Control Permit has not been uploaded yet, and there are some technical issues remaining to be addressed.



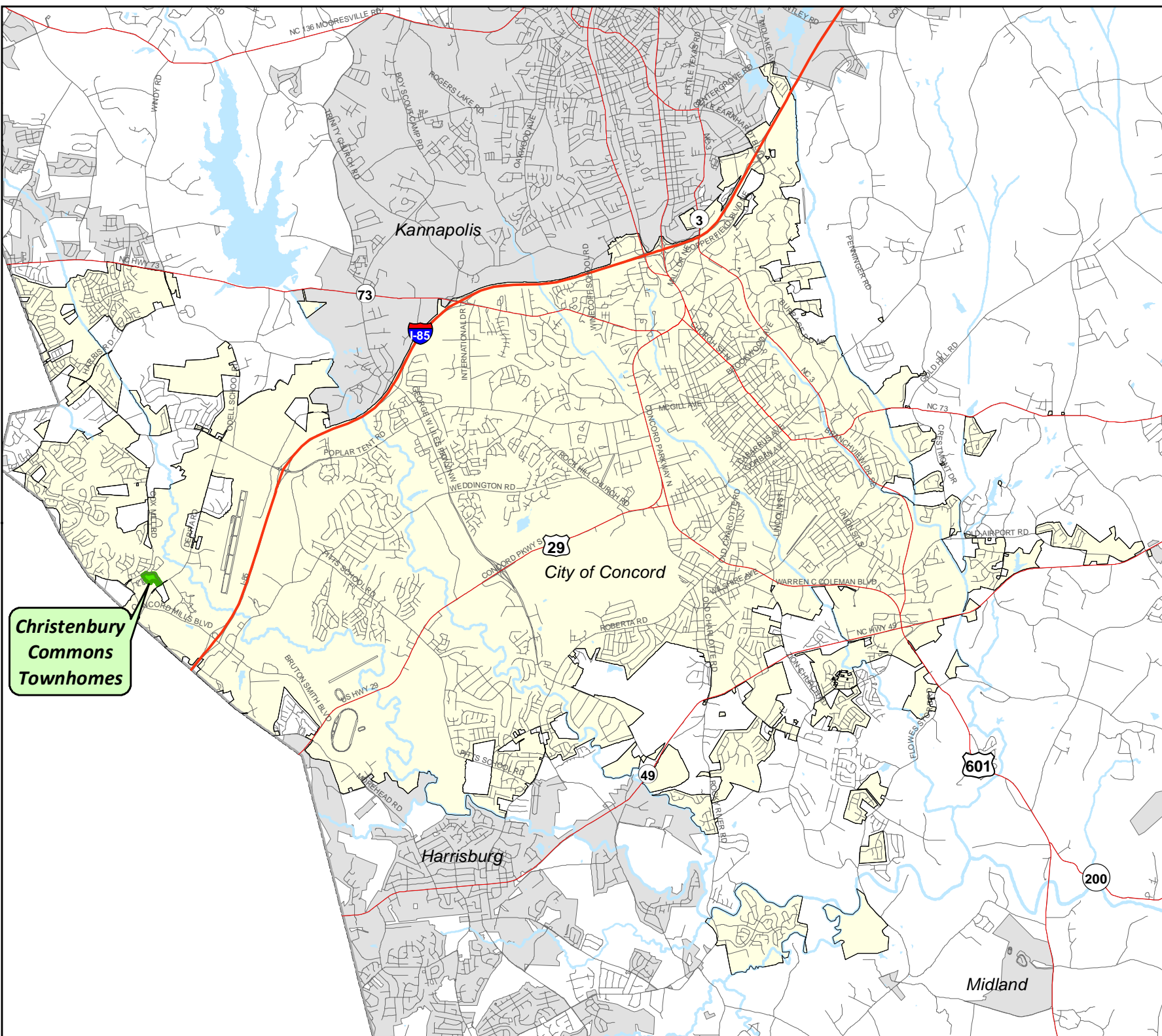
Christenbury Commons Townhomes

(PRS2021-02139)

67 Townhomes

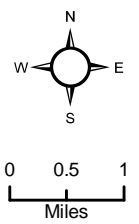
Allocation Request:
15,120

Project Scoring: 1



**Christenbury
Commons
Townhomes**

- Christenbury Commons
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.





January 21, 2022

Ms. Sue Hyde
Engineering Director
City of Concord
635 Alfred Brown Jr. Court SW
Concord, NC 28025

RE: Christenbury Commons Townhomes Sewer Capacity Allocation

Dear Ms. Hyde:

As requested per your e-mail dated December 28, 2021, please accept this letter as our project narrative for the Christenbury Commons Townhomes project (Project #PRS2021-02139).

Requested Sewer Flow = 63 Single-family Townhomes @ 3-bedrooms each = 63 Units x 240 GPD = 15,120 GPD

Christenbury Commons Townhomes is Phase 3 of the mixed-use Planned Unit Development named Christenbury Commons (Rezoning Z(CD)-04-19) unanimously approved by Planning and Zoning Commission on June 17, 2019. The development includes office, commercial/retail, single-family townhomes, and multifamily residential. Our proposed Phase 3 includes 65 three-story townhomes to be developed and constructed by JP Orleans. The townhomes will be three bedrooms with a range in square footage from 1,950 – 2,400 square feet. The anticipated starting sales price will average at \$425,000 before options and price increases over the length of construction. We anticipate the overall average home to sell for \$445,000.

Our development is proposing to install a multi-use path along Cox Mill Road and Edenbury Drive along the entire PUD frontage. Our development will also extend the public walking trails from the proposed Phase 1 limits to Edenbury Drive with internal connections to the Site's public roads, providing a public trail connection from Christenbury Parkway to Edenbury Drive along the tributary to Rocky River.

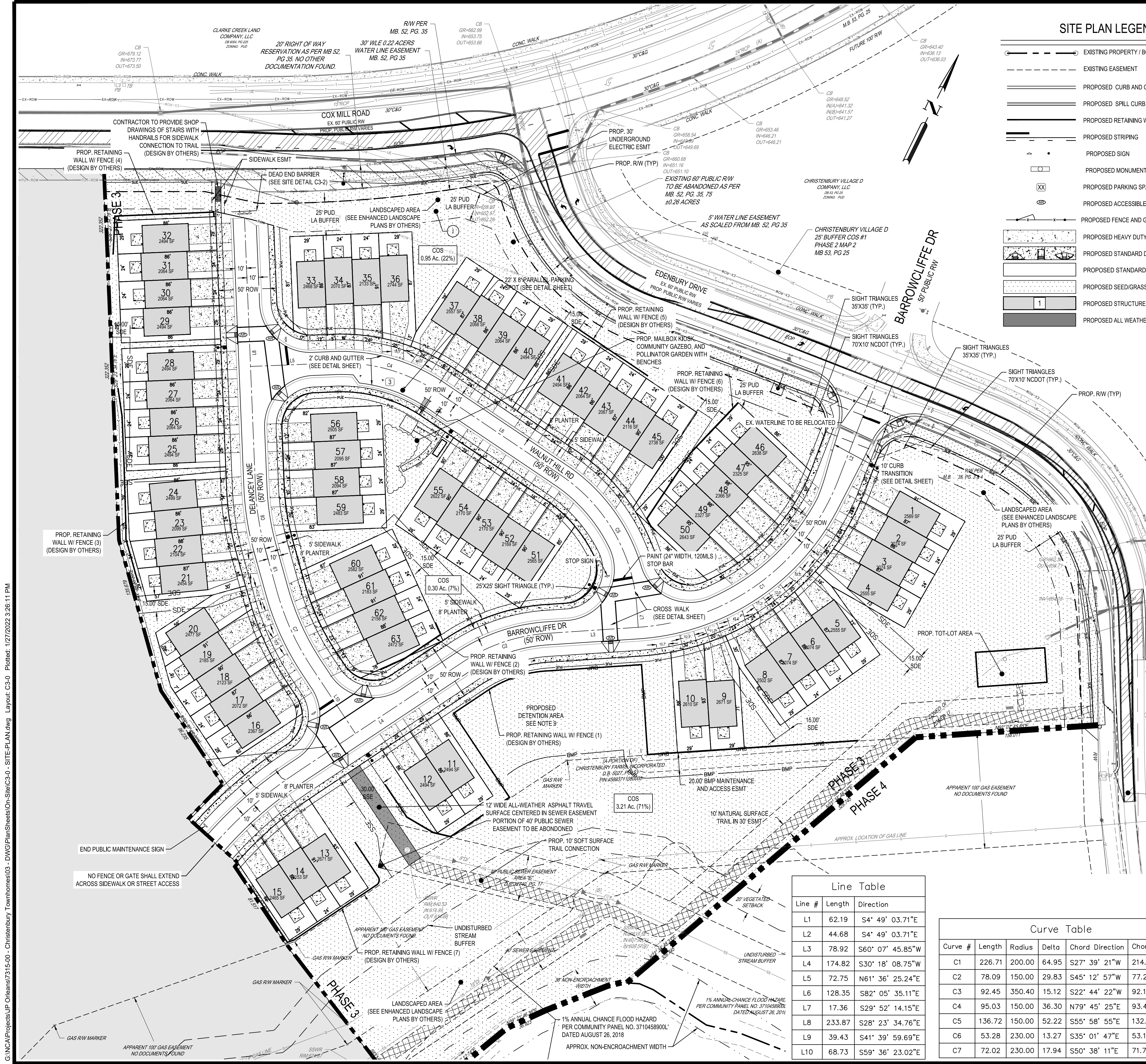
The sewer for our site will connect to an existing City of Concord stub manhole from the WSACC interceptor line.

Sincerely,

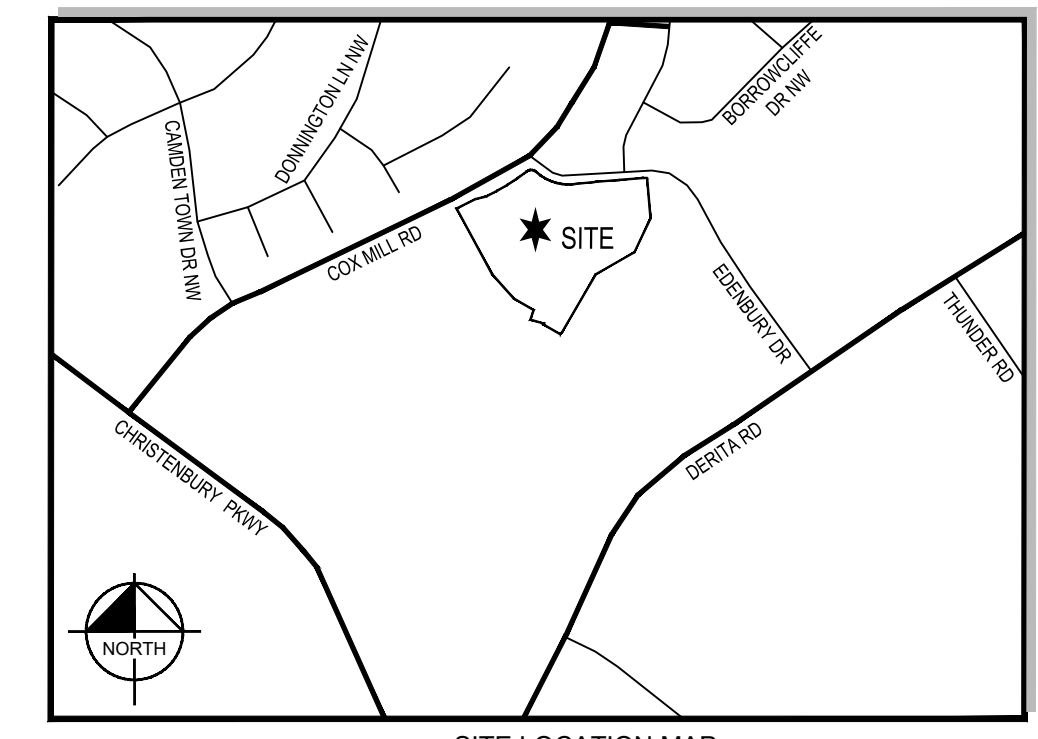
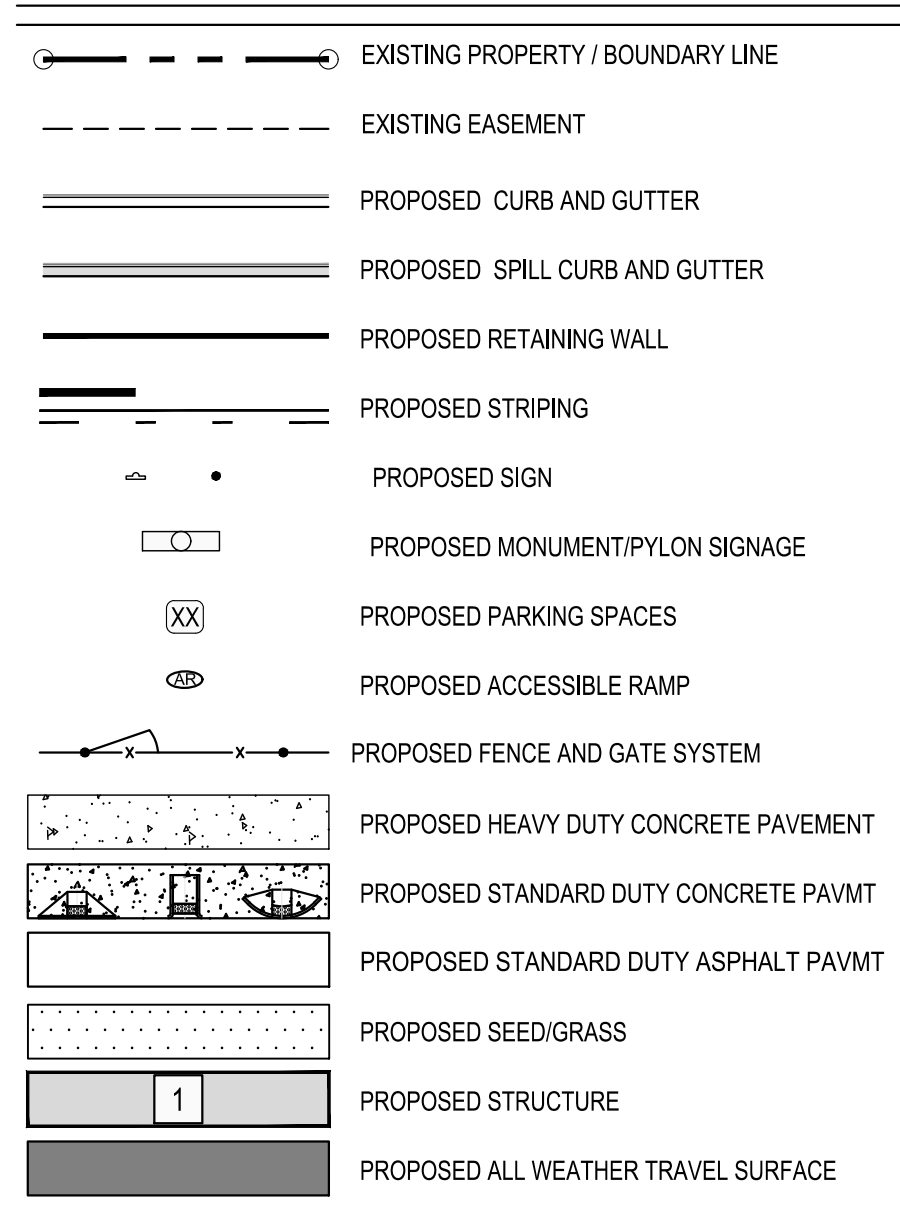
A handwritten signature in blue ink, appearing to read "Andrew Grant".

Andrew Grant
Director, Land/Site

G:\NCA\Projects\JP Orleans\7315-00 - Christenbury Townhomes\03 - DWG\PlanSheets\On-Site\C3-0 - SITE-PLAN.dwg Layout: C3-0 Plotted: 1/27/2022 3:26:11 PM



SITE PLAN LEGEND



SITE DATA

TOTAL ACREAGE: ± 10.01 AC
 MULTIFAMILY ACREAGE: ± 7.84 AC
 ROW ACREAGE: ± 2.17 AC
 TAX PARCELS (DEED BOOK-PAGE): 4589-37-1108-0000 (05027-0053)
 JURISDICTION: CITY OF CONCORD / CABARRUS COUNTY
 ADDRESS: 9101 EDENBURY DRIVE, CONCORD, NC
 OWNER: SYCAMORE AT CHRISTENBURY, LLC
 EXISTING ZONING: PLANNED UNIT DEVELOPMENT (PUD) (Z (CD)-04-19)
 EXISTING USES: VACANT
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL 3 STORY TOWNHOMES
 DATE OF FINAL PLATTING: 9/1/2022
OPEN SPACE
 OPEN SPACE PROVIDED: ± 4.52 ACRES (45%)
DENSITY
 PROP. PHASE 3 DENSITY: 6.29 DUA (BASED ON PHASE 3 TOTAL SITE ACREAGE)
SETBACKS
 TOWNHOME FRONT SETBACK: 24' (MINIMUM PER PUD)
BUFFERS
 PUD PERIMETER BUFFER: 25' (PUD)
 BUFFER YARD BETWEEN MULTIFAMILY AND TOWNHOMES 8' INSTALLED ON MULTIFAMILY PARCEL (PHASE 1)
PROPOSED TOWNHOME DEVELOPMENT
 PROPOSED LOT TOTAL: 63
 TYPICAL LOT SIZE: 24' X 86'
 NET ACREAGE OF LOTS: ± 3.38 (147,056 SF)
PHASE 3 IMPERVIOUS AREA
 NET AREA: ± 10.01 AC (± 435,915 SF)
 STREETS: 41,514 SF (9.5%)
 SIDEWALKS: 20,474 SF (4.7%)
 STRUCTURES: 56,640 SF (13.0%)
 DRIVEWAYS: 35,570 SF (8.2%)
 TOTAL: 154,198 SF (35.4%)
TOTAL IMPERVIOUS AREA
 TOTAL AREA: ± 42.79 AC (± 1,863,932 SF)
 PHASE 1: 514,571 SF (28%)
 PHASE 2: TBD
 PHASE 3: 154,198 SF (8%)
 PHASE 4: TBD
PHASE 3 STREETS
 ACREAGE IN STREET RIGHT OF WAY: ± 2.17 AC
 STREET LINEAR FOOTAGE:
 BARROWCLIFFE DRIVE: 758 LF
 DELANCEY LANE: 467 LF
 WALNUT HILL ROAD: 450 LF
FIRE SUMMARY
 USE: RESIDENTIAL TOWNHOMES
 SIZE: < 3,600 SF
 CONSTRUCTION TYPE: V-B
 HEIGHT: < 30' AS MEASURED BY IFC. SECT. D105
 REQUIRED FIRE FLOW: 1,500 GPM

SITE NOTES

- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY PROVIDED BY R.B. PHARR & ASSOCIATES, P.A.
- A PORTION OF THIS SITE IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP, FIRM PANEL 3710458900L DATED NOVEMBER 16, 2018.
- ALL ON SITE STRIPING IS TO BE PAINTED, UNLESS OTHERWISE NOTED. ALL STRIPING IN PUBLIC RIGHT-OF-WAY TO BE THERMOPLASTIC STRIPING.
- WATER AND SEWER SYSTEMS FOR THE PHASE 3 TOWNHOMES WILL BE PUBLIC.
- ALL ROADS IN PHASE 3 TO BE PUBLIC.
- OFFSITE ROAD IMPROVEMENTS TO BE PROVIDED IN ACCORDANCE WITH NCDOT REQUIREMENTS FOR APPROVED TIA.
- COMMON OPEN SPACE AREAS WILL FEATURE PASSIVE RECREATION, PLANTINGS / NATURAL AREAS, AND SEATING ELEMENTS.
- PROPOSED 10' SOFT SURFACE TRAIL CONNECTION IS TO BE INSTALLED BY THE DEVELOPER. OPEN SPACE IN BMP DESIGNATED AREAS TO MEET THE CRITERIA SET FORTH IN CITY OF CONCORD DEVELOPMENT AND DESIGN STANDARDS SECTIONS 9.1.1 AND 10.5.4 OF THE CONCORD DEVELOPMENT ORDINANCE.

PUD APPROVAL CONDITIONS

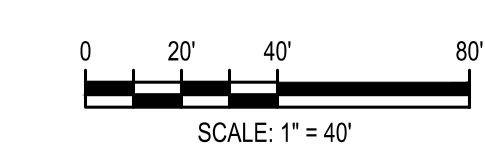
- THE PETITIONER HAS CONSENTED TO THE FOLLOWING CONDITIONS:
- COMPLIANCE WITH THE "CHRISTENBURY COMMONS REZONING SITE PLAN" SHEETS RZ 1-3 (THREE PAGES, DATED 5/31/19) AND THE PLANS ENTITLED "24' X 40' TOWNHOME" AND "28' X 50' TOWNHOME" (DATED 3/5/19)
 - COMPLIANCE WITH ALL MINIMUM REQUIREMENTS RELATIVE TO STORMWATER AND FIRE PROTECTION; AND
 - TECHNICAL SITE PLAN SHALL BE REQUIRED.
 - INTERNET GAMING SHALL BE A PROHIBITED USE WITHIN THE DEVELOPMENT.
 - DEVELOPER AGREES TO INSTALL TRAFFIC CALMING DEVICES, IF REQUIRED, AS AGREED UPON BY THE NCDOT, CITY OF CONCORD, AND DEVELOPERS TRAFFIC ENGINEER.

Line Table

| Line # | Length | Direction |
|--------|--------|------------------|
| L1 | 62.19 | S4° 49' 03.71"E |
| L2 | 44.68 | S4° 49' 03.71"E |
| L3 | 78.92 | S60° 07' 45.85"W |
| L4 | 174.82 | S30° 18' 08.75"W |
| L5 | 72.75 | N61° 36' 25.24"E |
| L6 | 128.35 | S82° 05' 35.11"E |
| L7 | 17.36 | S29° 52' 14.15"E |
| L8 | 233.87 | S28° 23' 34.76"E |
| L9 | 39.43 | S41° 39' 59.69"E |
| L10 | 68.73 | S59° 36' 23.02"E |

Curve Table

| Curve # | Length | Radius | Delta | Chord Direction | Chord Length |
|---------|--------|--------|-------|-----------------|--------------|
| C1 | 226.71 | 200.00 | 64.95 | S27° 39' 21"W | 214.76 |
| C2 | 78.09 | 150.00 | 29.83 | S45° 12' 57"W | 77.21 |
| C3 | 92.45 | 350.40 | 15.12 | S22° 44' 22"W | 92.18 |
| C4 | 95.03 | 150.00 | 36.30 | N79° 45' 25"E | 93.45 |
| C5 | 136.72 | 150.00 | 52.22 | S55° 58' 55"E | 132.03 |
| C6 | 53.28 | 230.00 | 13.27 | S35° 01' 47"E | 53.16 |
| C7 | 72.02 | 230.00 | 17.94 | S50° 38' 11"E | 71.72 |



| REV | DATE | DESCRIPTION |
|-----|------------|--|
| 1 | 11/11/2021 | REVISIONS PER CITY OF CONCORD COMMENTS |
| 2 | 12/10/2021 | REVISIONS PER CITY OF CONCORD COMMENTS |
| 3 | 1/25/2022 | REVISIONS PER CITY OF CONCORD COMMENTS |

DESIGNED BY: AB
 DRAWN BY: AB
 REVIEWED BY: AG

BCE
 1111 METROPOLITAN AVE, SUITE 250
 CHARLOTTE, NC 28204
 www.bceinc.com
 NC LICENSE #C-4397

JP ORLEANS
 1911 ASSOCIATES LANE, SUITE E
 CHARLOTTE, NC 28217

CHRISTENBURY GREENE
 EDENBURY DR
 CONCORD, NC 28027

SITE PLAN

FILE NUMBER: 7315-00
 DATE: 01/25/2022
 C3-0

Residential

Skybrook Corners (PRS2021-01595)

10601 Poplar Tent Rd.

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|--------------|----------------------|
| 5/26/2021 | 9/30/2021 | 52 Townhomes | Yes 10/7/21 |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|-------|-------|------|------|
| 12480 | 12000 | 480 | |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|-----------------|--------------------|--------------------|----------------------|----------------|------------------------------------|--------|-------|
| 0 | 0 | 0 | 0 | 0 | 1 | 0 | 1 |

Brief Summary

52 townhomes near the intersection of Poplar Tent Rd. and Huntersville-Concord Rd. The preliminary plat was at technical approval on February 10, 2021. The applicant pursued annexation of an adjacent piece of property for a road access, which was approved by City Council on November 10, 2020, and zoned on December 15, 2020. Additional land adjacent to the access was approved for annexation by Council on February 10, 2022.

Outstanding Items

None.

Skybrook Corners

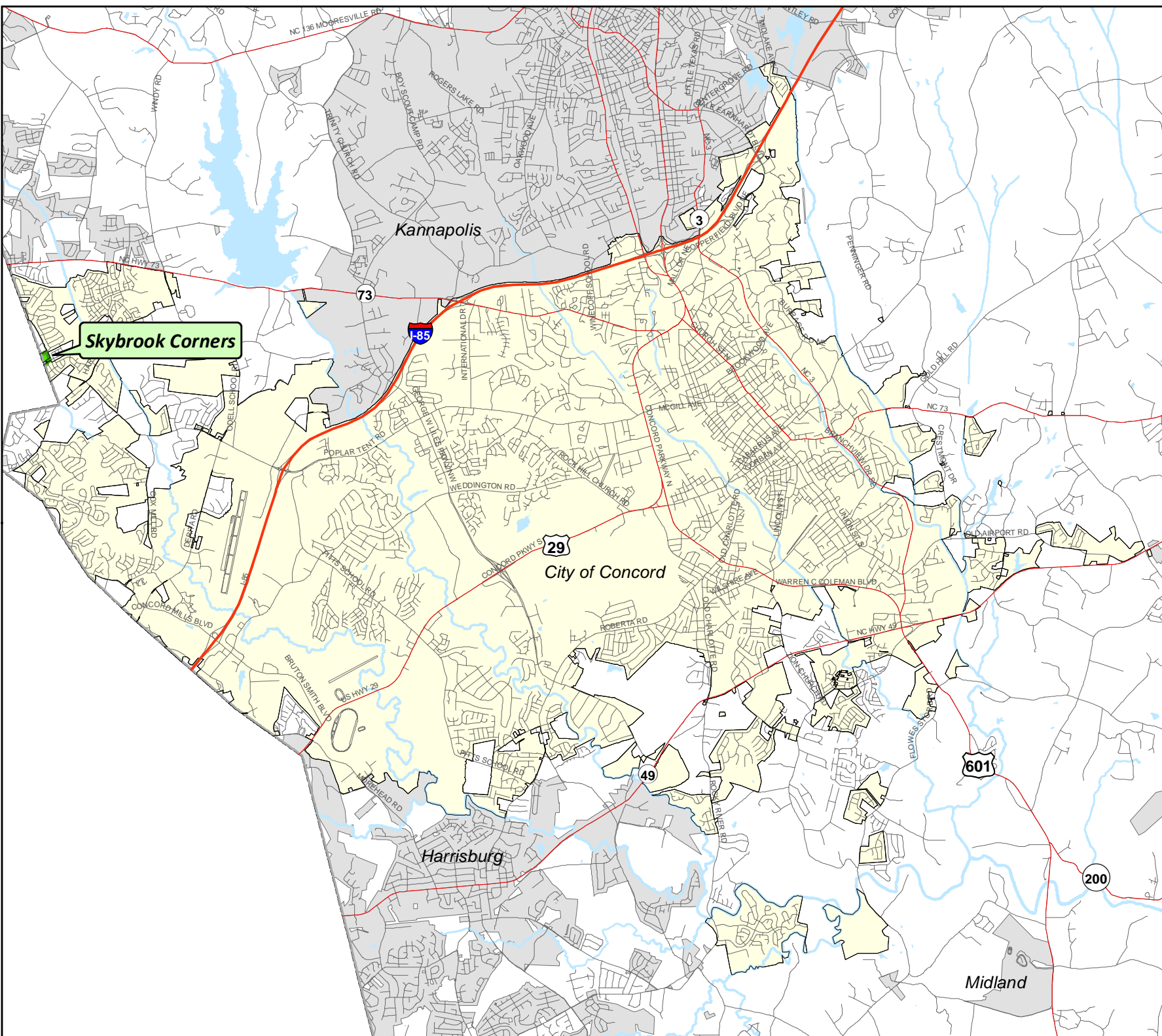
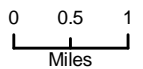
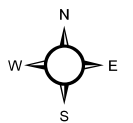
(PRS2021-01595)

52 Townhomes

Allocation Request:
12,480

Project Scoring: 1

- Skybrook Corners
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.





January 25, 2022

Honorable William C. Dusch & Concord City Council
35 Cabarrus Ave W,
Concord, NC 28025

Dear Mayor Dusch & City Council Members,

Please allow this letter to serve as a narrative regarding our project's request for sewer capacity within the City of Concord. Below is a list of all the pertinent information for our project:

- Project Name: Skybrook Corners; Parcel ID: 46717306200000; Accela #: PRS2021-01595
- Project Owner: Skybrook, LLC (Developer)
- Project Location: Corner of Huntersville-Concord Road and Poplar Tent Road
- Project Zoning & Annexation: CD-RV and currently annexed into the city limits
- Project Use & Density: 52 Townhome Units on 7.36 AC (7.07 DUA)
- Project Open Space: 27.4% (2.02 AC)
- Projected Price Point: Starting in the \$300,000s

Since 1998, the Skybrook Development team has had the honor in partnering with our local municipalities and creating over 2,000 homes and an 18-hole golf course on 960 acres within Cabarrus County, the Town of Huntersville and the City of Concord. Our goal in developing our communities is to be able to provide a high quality and affordable home for all buyers. We have successfully integrated a high-end product which includes apartments, townhomes and single-family dwellings across all three of our Skybrook communities. We are proud to have worked side by side with city officials in incorporating all elements of design that have made our communities an asset for years to come. In an effort to extend this vision, on October 27, 2020 we formally submitted a new phase of Skybrook to the City of Concord called the Skybrook Corners. This project is an infill development which will complete and connect two existing public streets from two surrounding sides of the Parkside at Skybrook North community. Given that this project is up for capacity review, I want to share with you a brief summary of all the work that has been accomplished and completed to date:

- On October 10, 2006 our development team purchased this property and has maintained ownership through present day.
- On December 31, 2011 the property was annexed into the City of Concord.
- On January 17, 2012 the property was rezoned from County Low Density Residential (LDR) to Concord Residential Village (RV).
- On November 12, 2020 we received annexation and rezoning approval from City Council for the Stinson Right of Way which allowed us to construct the public street connecting the Parkside community.
- On February 10, 2021 we obtained preliminary plat approval from the City of Concord.
- On May 3, 2021 we received sedimentation, erosion control and grading approvals from the NCDEQ.
- On May 26, 2021 we submitted construction drawings for approval.
- On July 1, 2021 we started on-site construction through installation of our erosion control measures including the temporary sediment basin.

- On September 30, 2021 we received approval on the traffic signal plans from NCDOT.
- On October 1, 2021 we received approval on all NCDOT encroachment agreements.
- On October 8, 2021 all construction drawing plan review comments have been addressed pending utility permits including WSACC acceptance.
- On October 14, 2021 water and sewer plans were submitted to WSACC.
- On October 27, 2021 the City of Concord issued the Acknowledgment and Acceptance of Risk letter stipulating WSACC's sewer capacity limitation within the county.
- On November 22, 2021 we received approval on our Early Grading Permit.

As you can see per our timeline, we have been engaged in extensive plan review processes in addition to on-site construction. Given all that had been accomplished, we were surprised to learn so late in the process, that our project was put on hold in October 2021 pending WSACC flow acceptance. Without this acceptance, our plans could not be formally approved by staff. Once capacity is granted, we will start back construction on March 1, 2022 with the goal of site completion in late September 2022. Our plan is to begin home building over the winter with occupancy taking place in the first quarter of 2023. Skybrook Corners is our 4th townhome project incorporated within our three Skybrook communities, which will provide affordability that complements our existing single-family homes. Although these homes will be owned by individual families, our plan is to provide full HOA maintenance of the home's exteriors and yards in an effort to ensure a professional level of maintenance is provided at all times.

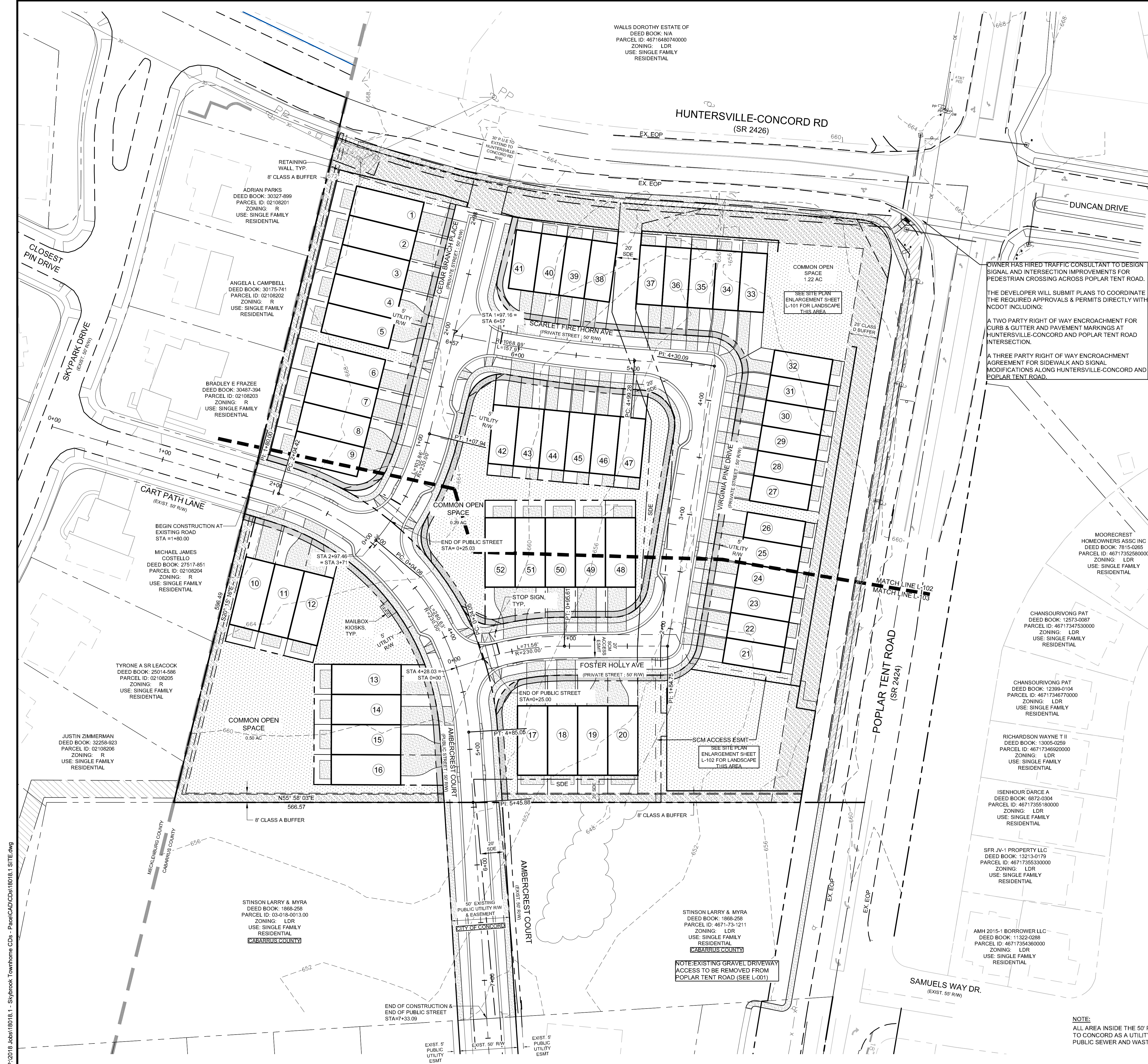
As far as home product, our builder is planning on offering five different floorplans with top quality features such as granite countertops in the kitchen and baths, tile backsplash in the kitchen, stainless steel appliances and Revwood tile and stain resistant flooring. In addition to elegance, our townhomes will also provide efficiency features that contribute to energy savings and water conservation. Our HardiePlank siding resists damage from wind, rain, freezing temps and extreme heat better than your typical vinyl siding; low flow faucets and toilets along with Energy Star rated dishwashers will assist in water conservation; LED lighting will be used throughout our homes which can produce light up to 85% more efficiently than conventional incandescent bulbs and Low E double pane windows will be provided to help reduce heat intrusion into our homes. As with all of our Skybrook communities, Skybrook Corners will have the opportunity to enjoy resort style Swim & Racquet Club amenities in addition to walking trails, ballfields, and playgrounds.

We are extremely thankful for all the effort and time that staff and city council has provided during our reviews. We look forward to completing this project and respectfully request that you grant sewer capacity for our 52 units so that we may complete our project as scheduled. If you have any questions or need additional information, please call me at 704.995.2507 or email me at scott@bpropnc.com. We look forward to seeing you at the city council meeting.

Sincerely,



Scott Moore
Project Manager
Skybrook Subdivision



SITE DATA:

PIN: #4671-73-0620 7075-0032
 JURISDICTION: CITY OF CONCORD
 SITE AREA: 7.36 AC (320,763.07 S.F.) (GROSS)
 FINAL PLAT DATE: 2021

CODE REQUIREMENTS (City of Concord Land Development Code):
 EXISTING ZONING: RV-CD
 EXISTING USE: VACANT
 PROPOSED USE: TOWNHOMES
 EXISTING WATERSHED: CLARKE

ALLOWABLE DENSITY: 8 DU/A.C.
 PROPOSED DENSITY: 52 UNITS (7.07 DU/A)
 27 UNITS - 22' WIDE
 25 UNITS - 26' WIDE

PARKING REQUIRED: 78-130 SPACES
 (1.5 SPACES/UNIT MIN. 2.5 SPACES/UNIT MAX.)
 PARKING PROVIDED: 89 SPACES, 1.7 SPACES PER UNIT
 (GARAGE AND ON-STREET PARKING)

MINIMUM LOT SIZE: 7,500 SF
 MIN. FRONT SETBACK: 24'
 INTERIOR SIDE SETBACK: 7'
 REAR SETBACK: 10'
 (CORNER LOTS)
 REAR SETBACK: 5'

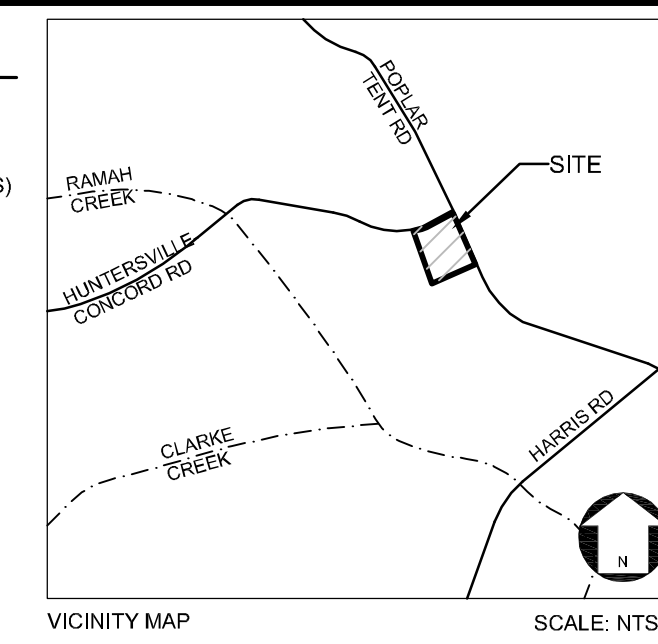
PERIMETER BUFFER REQ'D: 25'
 BLDG HEIGHT MAX. ALLOWED: 35'
 BLDG HEIGHT MAX. PROVIDED: 30'-6 3/4" (2 STORIES)
 MAX. BLDG. SQFT PROVIDED: 2570 S.F.

LINKS: 6
 NODES: 4
 LINK/NODE RATIO: 1.5

OPEN SPACE CALCULATIONS:
 OPEN SPACE REQUIRED: 12% REQUIRED (38,491.57 SF)
 TOTAL OPEN SPACE PROVIDED: ±27.4% PROVIDED (2,024 AC/ 87,846.2 SF)

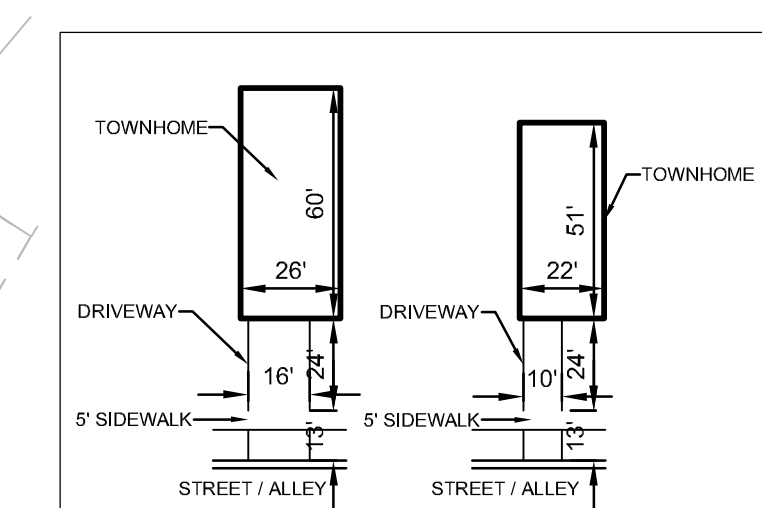
STREET LENGTH AT CENTERLINE:
 STREETS = 34,832 SF
 INTERNAL DRIVEWAYS = 12,316.07 SF
 WALKS/DRIVEWAYS = 34,654 SF
 TH BUILDINGS = 69,294 SF
 PATIOS/PATIOS = 6,700 SF
 145,480 SF (3.34 AC) (45.4%)

IMPERVIOUS AREA:
 EXISTING = 0 SF
 PROPOSED ON-SITE = 35 1870 0.04
 STREETS = 37 1870 0.04
 INTERNAL DRIVEWAYS = 38 1871 0.04
 WALKS/DRIVEWAYS = 39 1870 0.04
 TH BUILDINGS = 40 1870 0.04
 PATIOS/PATIOS = 41 1863 0.04
 42 1928 0.04
 43 1902 0.04
 44 1862 0.04
 45 1872 0.04
 46 1871 0.04
 47 1880 0.04
 48 2557 0.06
 49 2626 0.06
 50 2626 0.06
 51 2639 0.06
 52 2741 0.06
 TOTAL 120,115 2.6500



PROPOSED LOT SIZES:

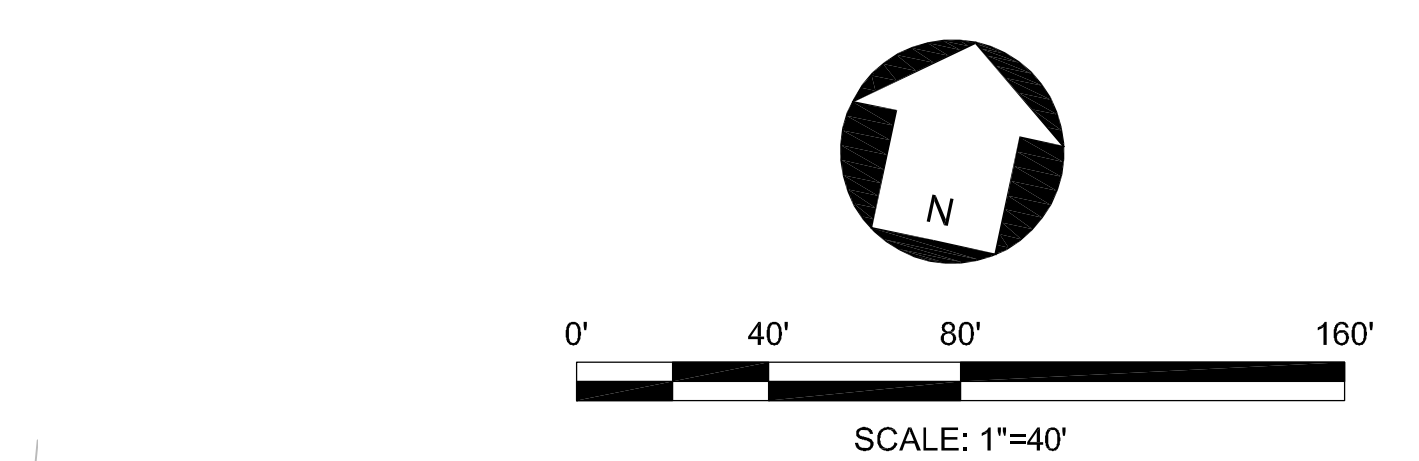
| LOT NUMBER | SF | ACRES |
|------------|---------|--------|
| 1 | 2751 | 0.06 |
| 2 | 2751 | 0.06 |
| 3 | 2751 | 0.06 |
| 4 | 2751 | 0.06 |
| 5 | 2751 | 0.06 |
| 6 | 2751 | 0.06 |
| 7 | 2751 | 0.06 |
| 8 | 2738 | 0.06 |
| 9 | 3431 | 0.08 |
| 10 | 2852 | 0.06 |
| 11 | 2775 | 0.06 |
| 12 | 2610 | 0.06 |
| 13 | 2595 | 0.07 |
| 14 | 2758 | 0.06 |
| 15 | 2635 | 0.06 |
| 16 | 2881 | 0.06 |
| 17 | 2624 | 0.06 |
| 18 | 2675 | 0.06 |
| 19 | 2678 | 0.06 |
| 20 | 2678 | 0.07 |
| 21 | 1851 | 0.04 |
| 22 | 1871 | 0.04 |
| 23 | 1867 | 0.04 |
| 24 | 1866 | 0.04 |
| 25 | 1868 | 0.04 |
| 26 | 1870 | 0.04 |
| 27 | 1873 | 0.04 |
| 28 | 1875 | 0.04 |
| 29 | 1875 | 0.04 |
| 30 | 1875 | 0.04 |
| 31 | 1863 | 0.04 |
| 32 | 1854 | 0.04 |
| 33 | 2149 | 0.05 |
| 34 | 1948 | 0.04 |
| 35 | 1856 | 0.04 |
| 36 | 1870 | 0.04 |
| 37 | 1870 | 0.04 |
| 38 | 1871 | 0.04 |
| 39 | 1870 | 0.04 |
| 40 | 1870 | 0.04 |
| 41 | 2432 | 0.06 |
| 42 | 1928 | 0.04 |
| 43 | 1902 | 0.04 |
| 44 | 1862 | 0.04 |
| 45 | 1872 | 0.04 |
| 46 | 1871 | 0.04 |
| 47 | 1880 | 0.04 |
| 48 | 2557 | 0.06 |
| 49 | 2626 | 0.06 |
| 50 | 2626 | 0.06 |
| 51 | 2639 | 0.06 |
| 52 | 2741 | 0.06 |
| TOTAL | 120,115 | 2.6500 |



TYPICAL LOT DIAGRAM
PER APPROVED PRELIMINARY PLAN

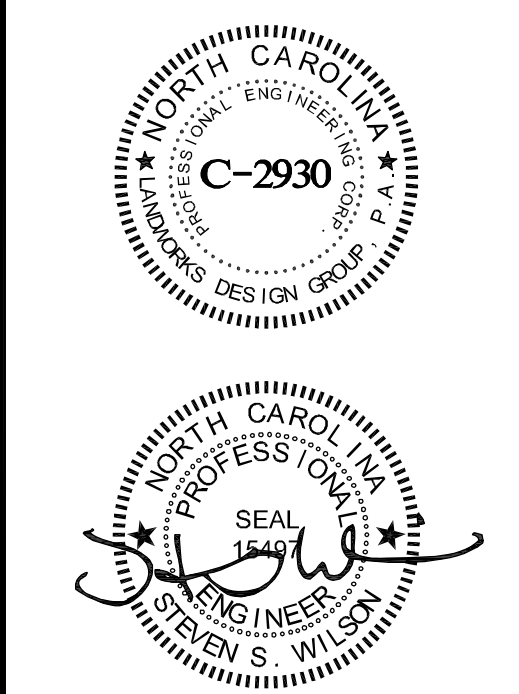
LEGEND

- PROPERTY LINE
- PROPOSED CURBING
- PROPOSED SETBACK
- PROPOSED R/W LINE
- PROPOSED CENTERLINE
- PROPOSED SIDEWALK
- PROPOSED OPEN SPACE
- EXISTING EASEMENT
- PROPOSED CONCRETE
- PROPOSED UTILITY EASEMENT
- EXISTING COUNTY LINE
- EXISTING CONTOURS
- EXISTING OVERHEAD ELECTRIC
- PROPOSED BUFFER



REVISIONS:

| No. | Date | By | Description |
|-----|------|----|-------------|
| | | | |



CORPORATE CERTIFICATIONS
 NC PE: C-2930 NCLC: C-253
 SC ENGS: NO. 3599 SCLA: NO. 211

Project Manager: SDW
 Drawn By: MMS
 Checked By: MDL
 Date: 9/15/2021
 Project Number: 18018.1
 Sheet Number:

Residential

Royscroft (PRS2020-02472)

7000 Flowes Store Rd.

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|----------------------------|----------------------|
| 8/12/2020 | 1/17/2022 | 370 single family detached | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|--------|-------|-------|-------|
| 120220 | 12000 | 12000 | 96220 |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|-----------------|--------------------|--------------------|----------------------|----------------|------------------------------------|--------|-------|
| 0 | 0 | 0 | 0 | 0 | 1 | 0 | 1 |

Brief Summary

This site plan is for 370 single family residential dwellings. Preliminary plat approved 9/20/20. Zoning case Z(CD)07-16 was approved on June 21, 2016. This rezoning to Planned Residential Development required a mixture of unit types: 55', 75', and 90' wide lots. Planning did approve and administrative amendment

Royscroft was supposed to provide a Fire Station location, but the developer is in discussions about providing a suitable alternative location off site, and has been discussing with appropriate parties, including Legal. A condition of the zoning is also that the site will provide a kayak/canoe launch.

Outstanding Items

There are 21 open issues on this case. Several of them relate to utility easement acquisition, documentation, and encroachments; others relate to utility design.

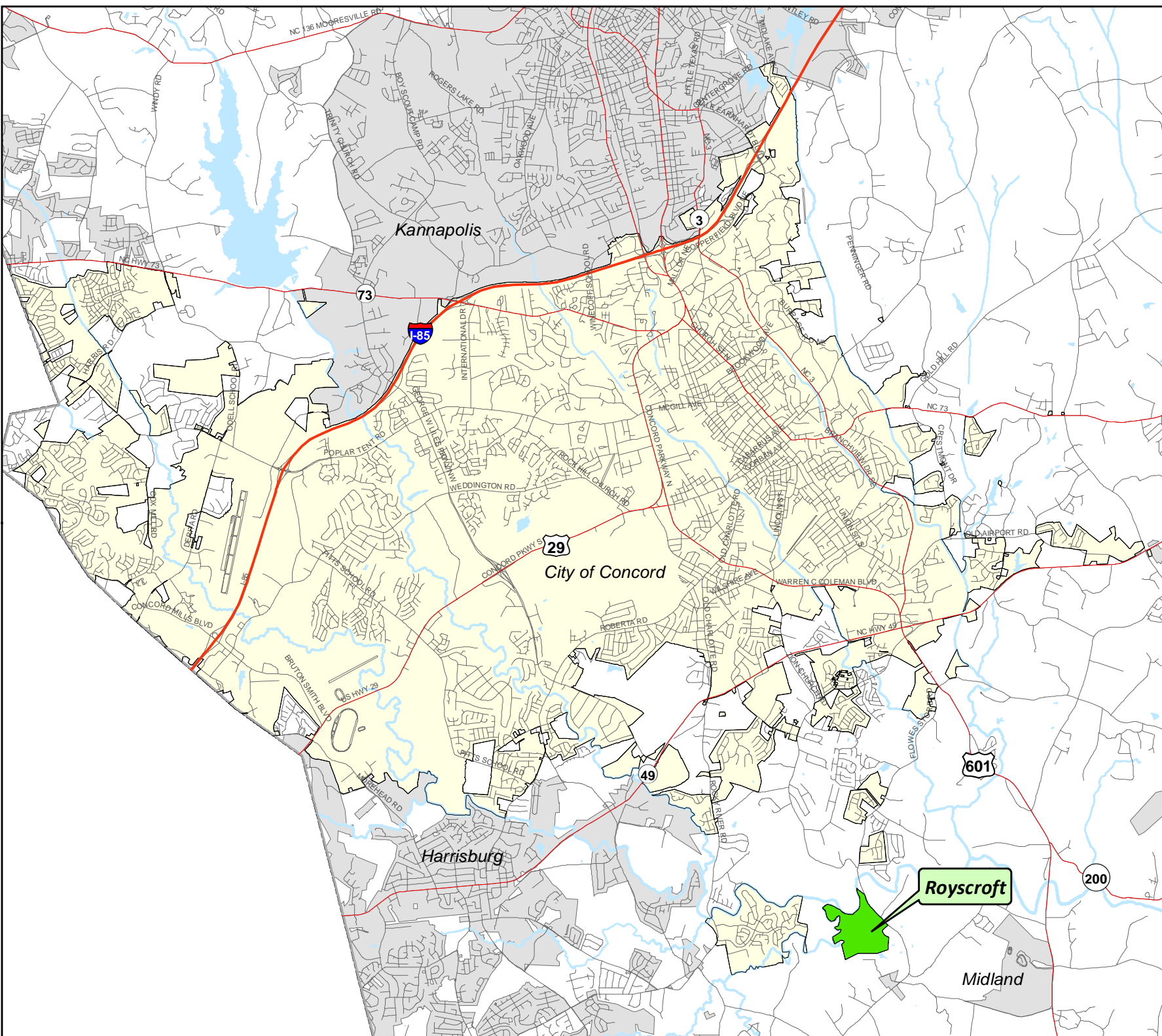
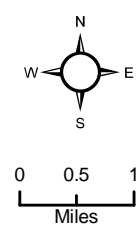
Royscroft
(PRS2020-02472)

370 Single Family Detached

Allocation Request:
120,220

Project Scoring: 1

- Royscroft
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.





PRELIMINARY WASTEWATER FLOW APPLICATION

INSTRUCTIONS FOR FORM: PWWF-2021

The City of Concord Preliminary Wastewater Flow Application is to be completed for any residential, commercial, and/or industrial site development projects requiring a permit based upon 15A NCAC Subchapter 2T rules and the Water and Sewer Authority of Cabarrus County sewer allocation and commitment policy.

A DIGITAL COPY OF THE COMPLETED APPLICATION PACKAGE, SUPPORTING INFORMATION AND MATERIALS, SHOULD BE UPLOADED TO ACCELA ONLINE PORTAL IN THE APPLICABLE ACCELA CASE AT <https://accela1.cabarruscounty.us/CitizenAccess/> , UNLESS OTHERWISE SPECIFIED.

SUPPORTING INFORMATION AT A MINIMUM NEEDS TO INCLUDE A PROJECT NARRATIVE.

The narrative should include any and all information the applicant wants City Council to consider when evaluating the project for flow allocation. In general, the narrative should be a description of the project, including project data (zoning, number of lots, type of housing or business), price points for homes or investment for business, and any sustainability components of the plan (ie walking trails, water conservation, green building practices, operational aspects of business such as waste reduction, recycling, etc).

| | |
|---|---|
| <p><u>For Accela Case Inquiries, Contact:</u> CITY OF CONCORD Planning & Neighborhood Development- Zoning Services Post Office Box 308 Concord, North Carolina 28026-0308 Telephone Number: (704) 920-5152</p> | <p><u>For Engineering Design Inquiries, Contact:</u> CITY OF CONCORD Engineering Department Post Office Box 308 Concord, North Carolina 28026-0308 Telephone Number: (704) 920-5425</p> |
|---|---|



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

| | |
|---|--|
| TO BE COMPLETED BY THE CITY OF CONCORD | |
| Planning Case No: | |
| Engineering Project No: | |
| ATC No: | |

| | | | | | | |
|--|--|---|---|--|-------------------------|-----------------|
| A. Project Information | 1.) | Project Title: | | | | |
| | 2.) | Description of project location: | (Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####)) | | | |
| | 3.) | Cabarrus County Parcel Identification Number: | 3a.) | Parcel Acreage: | | |
| | 4.) | Site Zoning and use: | 5.) | Area Commercial or Industrial Building | (sq. ft.) | |
| | 6a.) | Description of Facility to be served. | 6b.) | Number of Lots | 6c.) | Number of Units |
| | 7d.) | Additional description information: | | | | |
| | B. Applicant Information | | | (Title) | | |
| (Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.) | | | (Applicant's Street or Box Number) | | | |
| (Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.) | | | (Applicant's City, State, Zip Code) | | | |
| (Applicant's Phone Number) | | | (Applicant's Facsimile Number) | | | |
| (Name) | | | | (Email) | | |
| (Name with Title and Email of contact person, who can answer questions about application) | | | (Applicant's Email Address) | | | |
| REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner. | | | | | | |
| C. Design Engineer Information if available | | | (Typed name of North Carolina Professional Engineer) | | (Company Name) | |
| | | | (NCPE Registration Number) | | (Street or Box Number) | |
| | | | (Phone Number) | | (City, State, Zip Code) | |
| | (Name and affiliation of contact person, who can answer questions about application & designs) | | | (Engineer's Email Address) | | |

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

| | | | |
|--------------------------|--|--------------------------|-----------------------------------|
| <input type="checkbox"/> | Residential Subdivision | <input type="checkbox"/> | Retail (Stores, shopping centers) |
| <input type="checkbox"/> | Apartments/Condominiums | <input type="checkbox"/> | Institution |
| <input type="checkbox"/> | Mobile Home Park | <input type="checkbox"/> | Hospital, nursing home, dental |
| <input type="checkbox"/> | School, preschool, daycare | <input type="checkbox"/> | Church |
| <input type="checkbox"/> | Restaurants (Food or drink facilities) | <input type="checkbox"/> | Sports Centers |
| <input type="checkbox"/> | Hotels or motels | <input type="checkbox"/> | Business, offices, factories |
| <input type="checkbox"/> | Other (specify): _____ | | |

2.) The type of wastewater is (indicate percentage):

| | |
|--|------------------------------------|
| | % Domestic |
| | % Commercial |
| | % Industrial |
| | % Other use (Specify) _____ |

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow **to be allocated for this particular project**: _____ gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in **Title 15A NCAC 2T .0114**
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The **wastewater flow calculations** used in determining the permitted flow in accordance with **15A NCAC 2T .0114**

a) See **15A NCAC 2T.0114(b), (d), (e)(2)** for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per **15A NCAC 02T.0114(c)**, design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

| Established Type (See 02T.0114(f)) | Daily Design Flow (a, b) | No. of Units | Flow |
|------------------------------------|--------------------------|--------------|------------|
| | gal/ | | GPD |
| | gal/ | | GPD |
| | gal/ | | GPD |
| | gal/ | | GPD |
| | gal/ | | GPD |
| | gal/ | | GPD |
| | | Total | GPD |

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, _____, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Signature: _____ Date: _____

STANLEY  MARTIN
— Your Life is Our Blueprint™ —

Dear City of Concord Council,

This letter is to serve as a narrative in support of sewer allocation for the Royscroft Subdivision located on the west side of Flowes Store Road near the intersection of Mexico Road in the City of Concord, NC. The site originally began with the rezoning process of the parcel in February 2016. The property was originally zoned under Cabarrus County zoning classification LRD. The rezoning was approved by the City of Concord in June 2016 under the zoning classification PRD.

The current project began in the Fall of 2019.

Royscroft consists of 371 single family residential lots with three different lot widths, the homes will range from \$260,000 up to \$500,000. Our front entrance will be enhanced with upgraded landscaping and community monuments at each entrance. Royscroft will include a centrally located Amenity Center where residents can enjoy the club house, competition size pool, playground, dog park and access to the Greenway with scenic views along the Rocky River and Reedy Creek tributaries. This Greenway will be a major feature for residents to enjoy peaceful walks along the river. In addition, there are numerous active and passive common areas including several undisturbed environmentally sensitive areas. The total acreage of the subdivision is 262.42 and 139.13 acres will remain as open space.

Royscroft was first submitted for the Preliminary Plat in February 2020. Through continued coordination with the City of Concord, the developer was able to acquire approval of the Preliminary Plat on September 2, 2020. The Construction Documents were first submitted on August 18, 2020. And the sewer application was originally submitted on January 6, 2021.

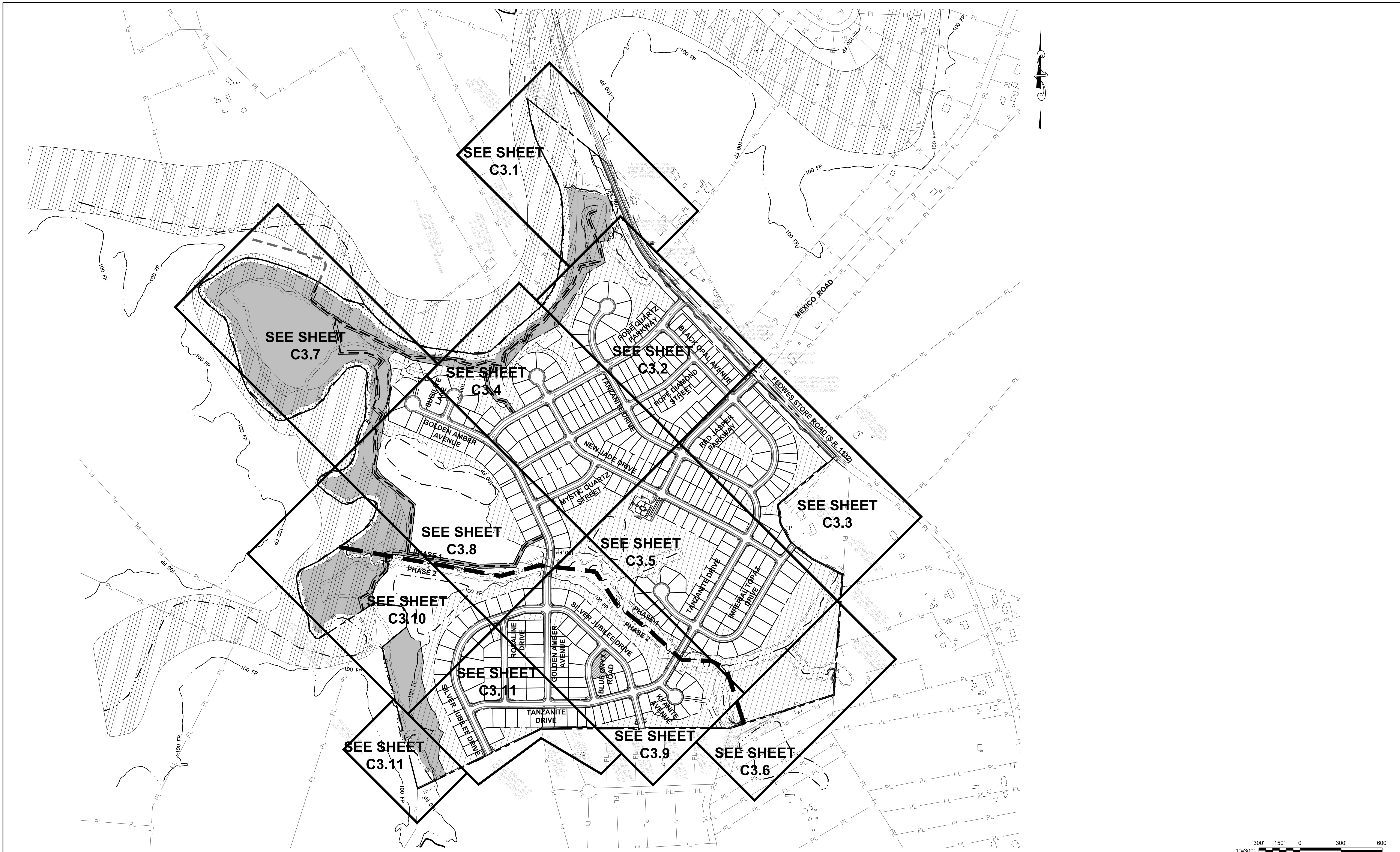
Stanley Martin Homes has overcome numerous challenges to get this community started and has incurred significant upfront expenses associated with the water main easement acquisition along Flowes Store Road. We're proposing to install 6000 linear feet for a new water main that will improve water pressure and flow along this route while extending the water main for future residents.

At the intersection of Flowe Store Road and Hwy 601, we will be installing a new left turn lane on Flowes Store Rd to ease traffic that will include updating the signalization, performing shoulder improvements and refreshing the asphalt overlay. Stanley Martin is also dedicating an outparcel for the future Fire Department Facility/Station and its associated parking lot, which will be located at the front of the neighborhood and behind our enhanced buffered landscaping.

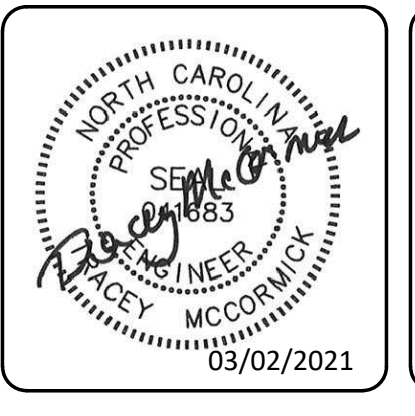
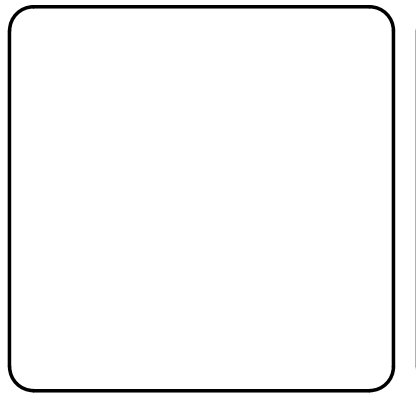
We hope this letter speaks to our need and believe this community will be a great addition to the area.

Sincerely,

Ron Willing
Senior Land Development Manager
STANLEY MARTIN HOMES



| REV. NO. | DATE | DESCRIPTIONS | REVISIONS |
|----------|------------|-------------------------|-----------|
| C | 03/02/2021 | ADDRESSED CITY COMMENTS | |
| B | 01/06/2021 | ADDRESSED CITY COMMENTS | |
| A | 10/06/2020 | ADDRESSED CITY COMMENTS | |



MCKIM & CREED
 8020 Tower Point Drive
 Charlotte, North Carolina 28227
 Phone: (704) 841-2588, Fax: (704) 841-2567
 NC License# F-1222
 www.mckimcreed.com



ROYSCROFT SUBDIVISION
CITY OF CONCORD, NC
FLOWES STORE ROAD

OVERALL SITE PLAN

| | | | | |
|-------------|-------------|--|---|-----------|
| DATE: | AUGUST 2020 | SCALE: | C3.0 SHEET NUMBER C REVISION | |
| MCE PROJ. # | 07798-001 | HORIZONTAL: | | 1" = 300' |
| DRAWN | JLM | VERTICAL: | | N/A |
| DESIGNED | JLM | | | |
| CHECKED | TMM | | | |
| PROJ. MGR. | TMM | | | |
| STATUS: | | PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION | | |

Residential

Weddington Ridge Ph 3 (PRS2021-03324)

7515 Ruben Linker RD NW.

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|---------------|----------------------|
| 10/29/2021 | 1/21/2022 | 131 townhomes | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|-------|-------|-------|-------|
| 34320 | 12000 | 12000 | 10320 |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|-----------------|--------------------|--------------------|----------------------|----------------|------------------------------------|--------|-------|
| 0 | 0 | 0 | 0 | 0 | 1 | 0 | 1 |

Brief Summary

131 townhomes located on Ruben Linker Rd. This is the back half of a Special Use Permit that was granted by Planning and Zoning Commission on June 19, 2018. At the time of the special use permit, townhomes were permitted in the C-2 zoning district by right, so the area was not included within the bounds of the special use permit. The applicant pursued an amendment to the special use permit to go to 648 apartments over the entire site, which was denied by the Planning and Zoning Commission on December 17, 2019.

The applicant then proceeded with the development of the apartment units under the entitlements granted by SUP 05-18 in two phases. City Staff has administratively authorized the townhomes to proceed under the former entitlements although townhomes were removed as a permitted use from the C-2 zoning district on December 12, 2019.

The preliminary plat is pending payment of \$400 in fees as of February 4, 2022.

A 30' greenway easement is being dedicated as part of this project.

This site is part of the Weddington Road Corridor Plan which recognizes the project. No points were awarded since the plan is not yet adopted.

Outstanding Items

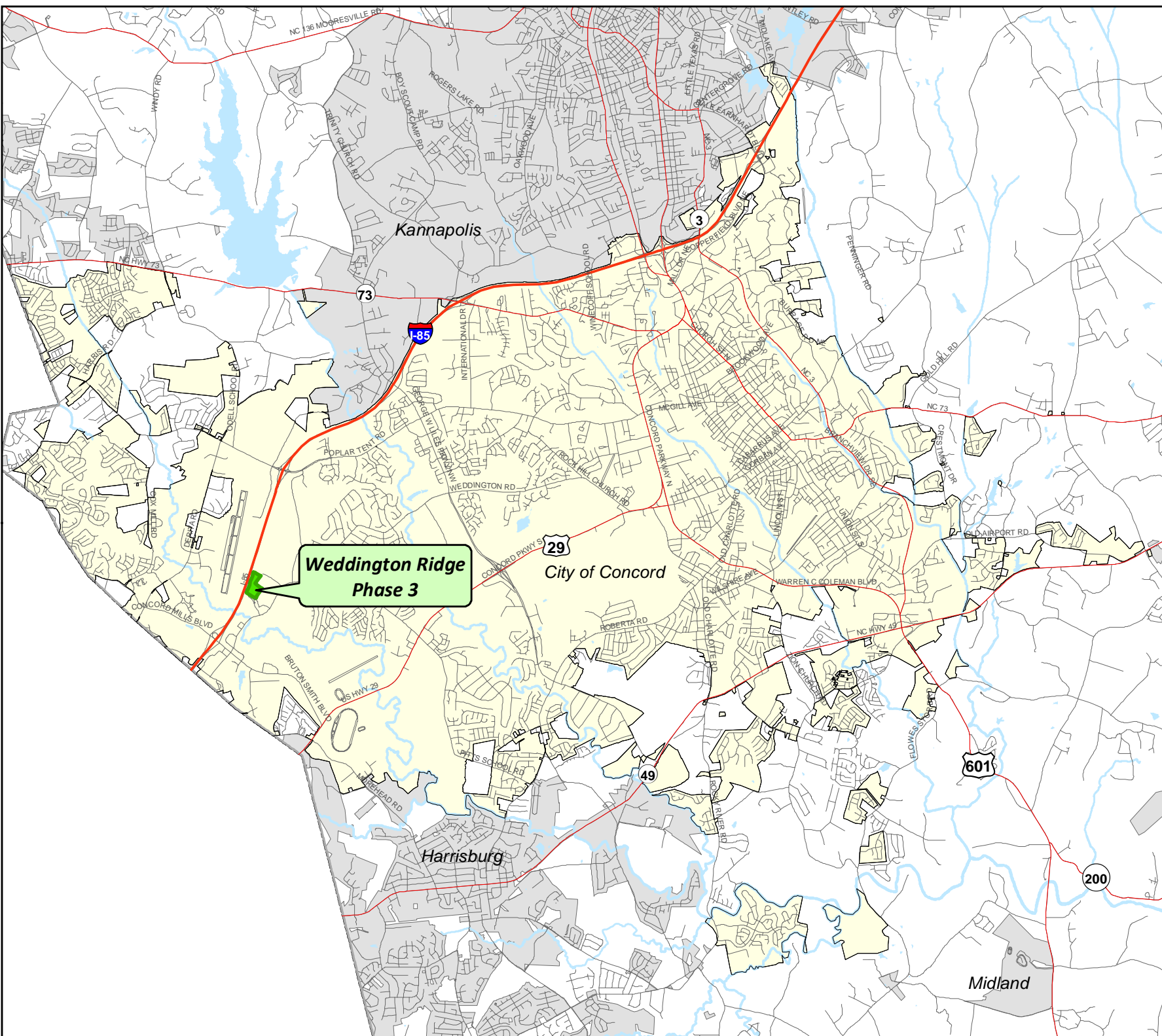
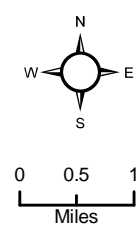
On the last round of review, there are several technical requirements not met that will require a few adjustments. An approved copy of the NCDEQ erosion control permit has not been received by the City.

Weddington Ridge Phase 3

(PRS2021-03324)

131 Townhomes
 Allocation Request:
 34,320
 Project Scoring: 1

- Weddington Ridge Ph 3
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.



January 12, 2022

M. Sue Hyde, PE
City of Concord Engineering Department
PO Box 308
Concord, NC 28026

RE: Weddington Ridge Phase 3
Sanitary Sewer System

Crescent Communities, LLC is proposing to develop a residential community on Weddington Road, in Concord, North Carolina. The development is located on three parcels totaling approximately 48.7 acres and will consist of both multifamily apartments and townhomes to provide high quality, new construction housing to over 400 households who will contribute to the long-term economic growth of Concord. Phase 1 of this development includes 132 apartment units, Phase 2 includes 165 apartment units, and Phase 3 includes 137 townhomes. Crescent Communities projects a total investment of over \$120 million in the development of this neighborhood, including nearly \$90 million of construction work.

In general, the subject site is located on the west side of Weddington Road, in Concord, North Carolina. The rectangular-shaped site is bounded by Weddington Road to the East, I-85 to the West, a multi-family development to the South, and both single family homes and businesses to the north. The existing zoning is C-2, a SUP was obtained in 2018 to allow for the development of multifamily in the C-2 zoning. The approved SUP proposed townhomes on the western half of the site (Phase 3) which allows the townhomes to be developed in the existing C-2 zoning.

The townhomes of this development will include a mix of 3 and 4 bedroom units with private garages and backyard space. Site amenities will include nature walking trails, outdoor gathering areas, as well as an easement dedication for a future greenway connection.

A willingness to serve letter was obtained for Phase 1 of the development on 11/17/2020 as well as a private sewer permit from NCDEQ on 7/13/2021. The approved allocation was to serve Phase I consisting of multifamily apartment buildings. Crescent Communities is requesting the allocation for Phase 3 of the development which will consist of the townhome portion of the project (137 townhomes).

We are nearing approval of our land development plans for Phase I-III, as well as plan on completing our architectural building drawings by the end of January 2022. Construction is anticipated to commence in March 2022.

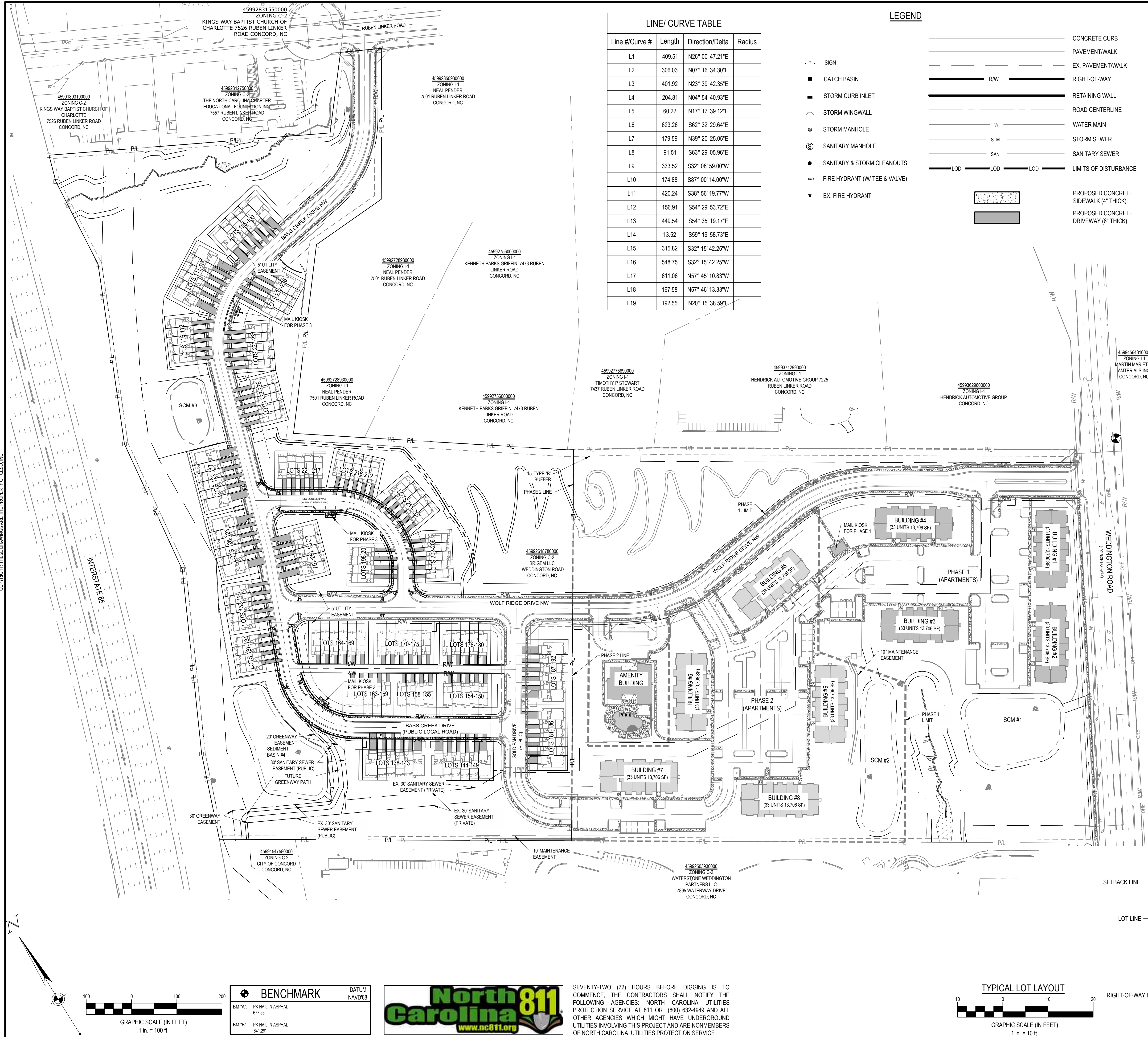
We believe this development will be a great location for new and existing Concord residents to call home as it provides a convenient location to access the jobs, amenities and community that the City of Concord has to offer.

Respectfully,

A handwritten signature in blue ink, appearing to read 'Robert Cash', with a stylized flourish extending to the right.

Robert Cash, PE
Senior Program Director, Civil Engineering

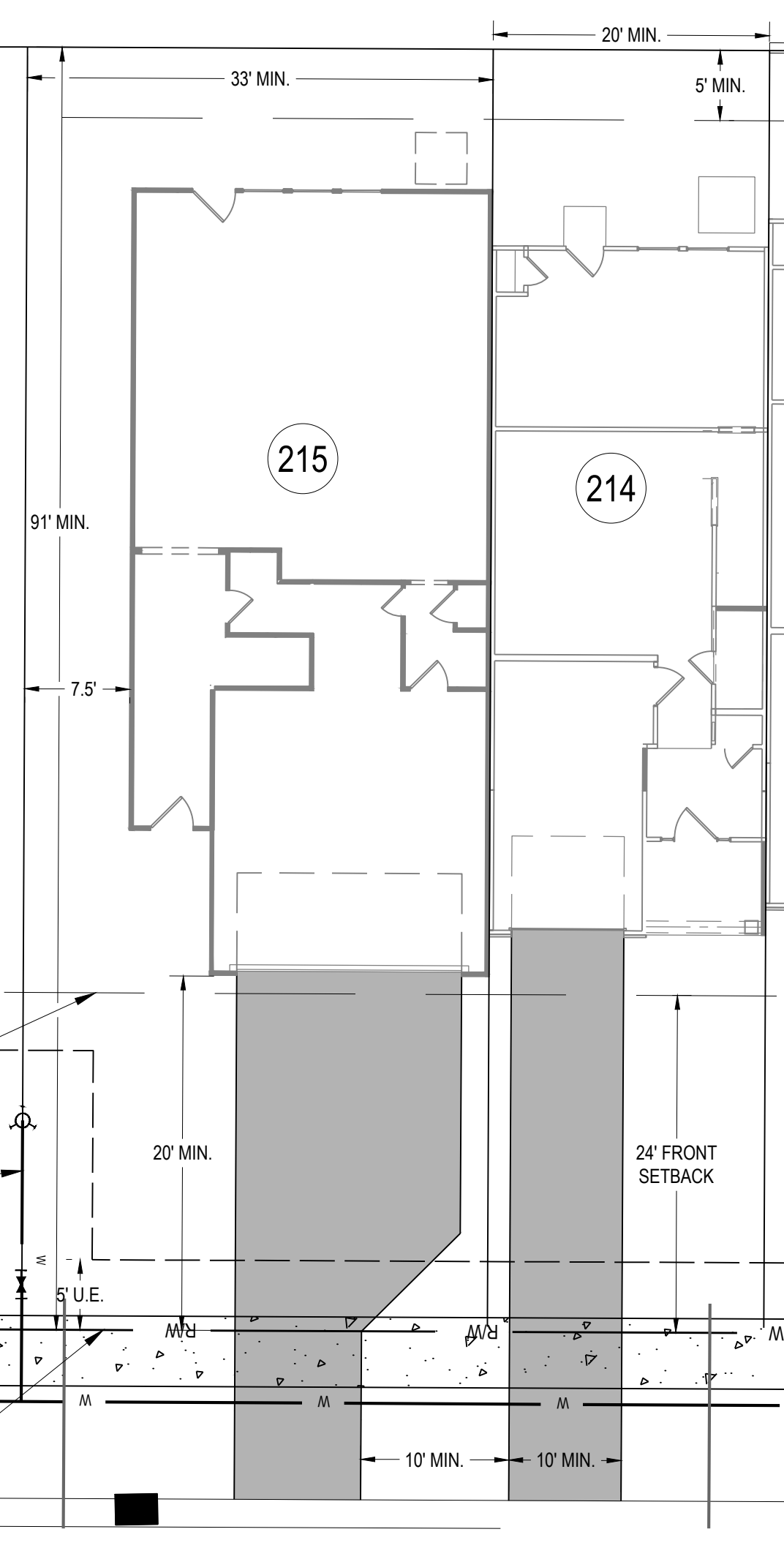
Initials: RLC



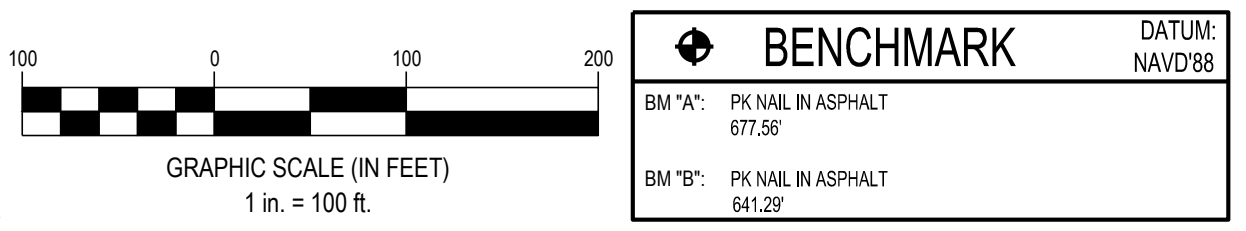
| Line #/Curve # | Length | Direction/Delta | Radius |
|----------------|--------|------------------|--------|
| L1 | 409.51 | N26° 00' 47.21"E | |
| L2 | 306.03 | N07° 16' 34.30"E | |
| L3 | 401.92 | N23° 39' 42.35"E | |
| L4 | 204.81 | N04° 54' 40.93"E | |
| L5 | 60.22 | N17° 17' 39.12"E | |
| L6 | 623.26 | S62° 32' 29.64"E | |
| L7 | 179.59 | N39° 20' 25.05"E | |
| L8 | 91.51 | S63° 29' 05.96"E | |
| L9 | 333.52 | S32° 08' 59.00"W | |
| L10 | 174.88 | S87° 00' 14.00"W | |
| L11 | 420.24 | S38° 56' 19.77"W | |
| L12 | 156.91 | S54° 29' 53.72"E | |
| L13 | 449.54 | S54° 35' 19.17"E | |
| L14 | 13.52 | S69° 19' 58.73"E | |
| L15 | 315.82 | S32° 15' 42.25"W | |
| L16 | 548.75 | S32° 15' 42.25"W | |
| L17 | 611.06 | N57° 45' 10.83"W | |
| L18 | 167.58 | N57° 46' 13.33"W | |
| L19 | 192.55 | N20° 15' 38.59"E | |

| LEGEND | |
|--------|---------------------------------------|
| — | CONCRETE CURB |
| — | PAVEMENT/WALK |
| — | EX. PAVEMENT/WALK |
| — | RIGHT-OF-WAY |
| — | RETAINING WALL |
| — | ROAD CENTERLINE |
| — | WATER MAIN |
| — | STORM SEWER |
| — | SANITARY SEWER |
| — | LIMITS OF DISTURBANCE |
| — | PROPOSED CONCRETE SIDEWALK (4" THICK) |
| — | PROPOSED CONCRETE DRIVEWAY (6" THICK) |
| — | SIGN |
| — | CATCH BASIN |
| — | STORM CURB INLET |
| — | STORM WINGWALL |
| — | STORM MANHOLE |
| — | SANITARY MANHOLE |
| — | SANITARY & STORM CLEANOUTS |
| — | FIRE HYDRANT (W/ TEE & VALVE) |
| — | EX. FIRE HYDRANT |

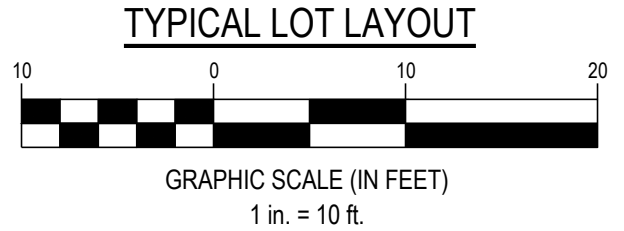
| PHASE 3 PROJECT DATA TABLE | |
|---|--|
| SITE ADDRESS | WEDDINGTON ROAD, CONCORD, NC |
| GROSS SITE AREA: | 48.7± AC |
| PHASE 1 & 2 AREA: | 22.6± AC |
| PHASE 3 AREA: | 26.1± AC |
| P.I.D. NO.: | 45991783680000, 45992646620000, 45992684130000 |
| EXISTING ZONING: | C-2 |
| PROPOSED USE: | TOWNHOMES (SUP 05-18) |
| MAXIMUM DENSITY: | 15 DUA |
| CONSTRUCTION TYPE: | TYPE V (WOOD FRAME) |
| MAXIMUM BUILDING LENGTH: | 180 FT |
| PROPOSED BUILDING LENGTH: | 56 FT (MAX) |
| MAXIMUM BUILDING HEIGHT: | 35 FT |
| PROPOSED BUILDING HEIGHT: | 25 FT (MAX) |
| PROPOSED BUILDING SQUARE FOOTAGE: | 1,400 FT² (MAX) |
| FRONT SETBACK: | 24 FT (20' IF REAR-LOADED)* |
| *NOTE: CORNER LOTS HAVE TWO FRONTS AND BOTH WOULD HAVE A FRONT SETBACK OF 20' | |
| SIDE SETBACK (EXTERIOR UNITS): | 7.5 FT |
| REAR SETBACK: | 5 FT |
| PROPOSED # OF UNITS: | 137 TOWNHOME LOTS |
| WATERSHED: | YADKIN-PEE DEE RIVER BASIN |
| DRAINAGE BASIN: | YADKIN-PEE DEE RIVER |
| PHASE 3 DENSITY: | 137 UNITS / 26.1 ACRES = 5.25 DUA |
| PHASE 3 LOT ACREAGE | MINIMUM LOT ACREAGE = 0.040 |
| AVERAGE LOT ACREAGE = 0.050 | |
| PHASE 3 OPEN SPACE | (12.3 ACRES / 26.1 ACRES) X 100 = 47% OPEN SPACE |
| PHASE 3 ACTIVE OPEN SPACE | 0.30 AC |
| STREET R-O-W AREA (PHASE 3) | 1.61 AC |
| BASS CREEK DRIVE C.L. LENGTH: | 651 FT (TOTAL LENGTH) |
| ALLEY C.L. LENGTH | 502 FT |
| PHASE 3 PERVIOUS AREA: | 17,964± AC |
| PHASE 3 IMPERVIOUS AREA: | 7,790± AC |
| ROAD IMPERVIOUS AREA: | 2,550± AC |
| SIDEWALK IMPERVIOUS AREA: | 0.86± AC |
| DRIVEWAY IMPERVIOUS AREA: | 1.06± AC |
| BUILDING IMPERVIOUS AREA: | 3,313± AC |
| Basin 3 IMPERVIOUS: | 3,723± AC |
| Basin 4 IMPERVIOUS: | 3,826± AC |
| ANTICIPATED FINAL PLATTING DATE: | FEBRUARY 2023 |



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SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE



REVISION DESCRIPTION

NO. DATE

CRESCENT ACQUISITIONS, LLC
WEDDINGTON RIDGE
PHASE 3 - TOWNHOMES

WEDDINGTON ROAD, CONCORD, NC

CRESCENT ACQUISITIONS, LLC
3601 RIGBY ROAD, STE 300
MIAMI, FL 33136
(937) 435-8584
COA: C-4740

ROBERT CASH, PE
BOB.CASH@CESOINC.COM

Digitally signed by Robert L. Cash
Date: 2022.01.20
16:31:25 -0500

MASTER SITE PLAN

ISSUE:
NOT FOR CONSTRUCTION

DATE:
OCTOBER 21, 2021

JOB NO.: 759758-01

DESIGN: C. GRAMMER

DRAWN: J. TEW

CHECKED: P. DAY

SHEET NO.
C4.00

71CESO\LOCAL\ROOT\DATA\PROJECTS\CRESCENT COMMUNITIES\759758-01 CRESCENT COMMUNITIES - WEDDINGTON RIDGE - TOWNHOMES\03-CIVIL\PLAN04 - SHEETS\C4.0 SITE PLAN.DWG - 1/20/2022 3:00 PM

Residential

Weddington Ridge Apartments Ph 2 (PRS2021-01952)

8152 Weddington Rd.

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|----------------|----------------------|
| 6/30/2021 | 1/13/2022 | 168 apartments | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|-------|-------|-------|------|
| 26400 | 12000 | 12000 | 2400 |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|-----------------|--------------------|--------------------|----------------------|----------------|------------------------------------|--------|-------|
| 0 | 0 | 0 | 0 | 0 | 1 | 0 | 1 |

Brief Summary

168 apartment units in 7 buildings located on Weddington Road. A Special Use Permit was granted by Planning and Zoning Commission on June 19, 2018 for the entire apartment plan.

This site is part of the Weddington Road Corridor Plan which recognizes the project. No points were awarded since the plan is not yet adopted.

Outstanding Items

On the last round of review, there are several technical requirements not met that will require a few adjustments. An approved copy of the NCDEQ erosion control permit has not been received by the City. The applicant also needs to provide corrected public water and sewer permitting applications.

**Weddington Ridge
Apartments Ph 2**

(PRS2021-01952)

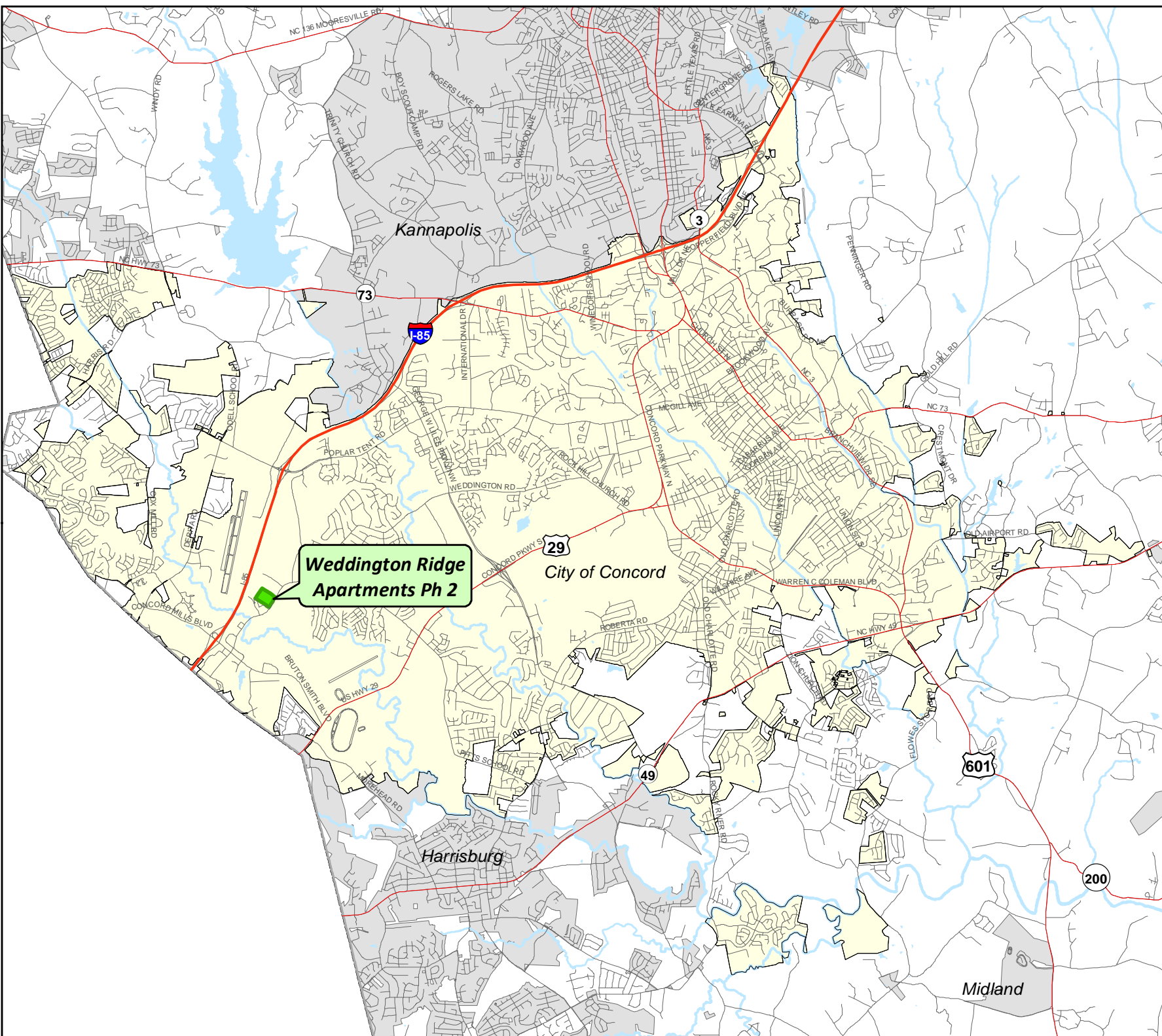
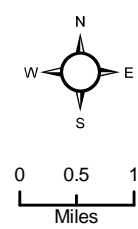
168 Apartments

Allocation Request:

26,400

Project Scoring: 1

- Weddington Ridge Ph 2
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.



January 12, 2022

M. Sue Hyde, PE
City of Concord Engineering Department
PO Box 308
Concord, NC 28026

RE: Weddington Ridge Phase 2
Sanitary Sewer System

Crescent Communities, LLC is proposing to develop a residential community on Weddington Road, in Concord, North Carolina. The development is located on three parcels totaling approximately 48.7 acres and will consist of both multifamily apartments and townhomes to provide high quality, new construction housing to over 400 households who will contribute to the long-term economic growth of Concord. Phase 1 of this development includes 132 apartment units, Phase 2 includes 165 apartment units, and Phase 3 includes 137 townhomes. Crescent Communities projects a total investment of over \$120 million in the development of this neighborhood, including nearly \$90 million of construction work.

In general, the subject site is located on the west side of Weddington Road, in Concord, North Carolina. The rectangular-shaped site is bounded by Weddington Road to the East, I-85 to the West, a multi-family development to the South, and both single family homes and businesses to the north. The existing zoning is C-2, a SUP was obtained in 2018 to allow for the development of multifamily in the C-2 zoning. The approved SUP proposed townhomes on the western half of the site (Phase 3) which allows the townhomes to be developed in the existing C-2 zoning.

The apartments proposed for Phase I and II of this development will include a mix of 1 and 2 bedroom units, with market rents. Site amenities include a community pool and building, nature walking trails, as well as an easement dedication for a future greenway connection. The apartment project will have a NGBS (National Green Building Standard) Bronze green building certification.

A willingness to serve letter was obtained for Phase 1 of the development on 11/17/2020 as well as a private sewer permit from NCDEQ on 7/13/2021. The approved allocation was to serve Phase I consisting of multifamily apartment buildings. Crescent Communities is requesting the allocation for Phase 2 of the development which will complete the multifamily portion of the project (297 total apartment units).

We are nearing approval of our land development plans for Phase I-III, as well as plan on completing our architectural building drawings by the end of January 2022. Construction is anticipated to commence in March 2022.

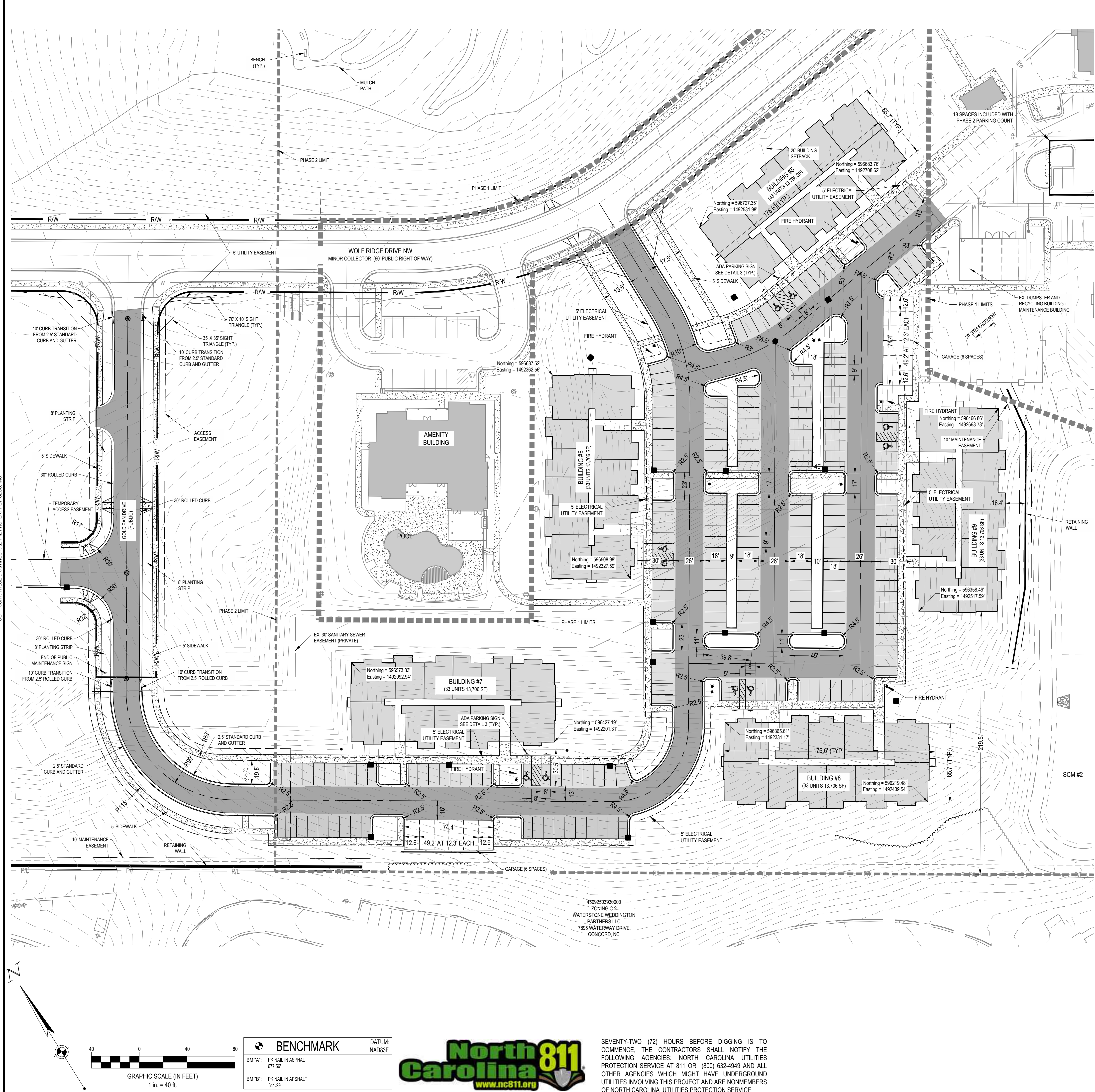
We believe this development will be a great location for new and existing Concord residents to call home as it provides a convenient location to access the jobs, amenities and community that the City of Concord has to offer.

Respectfully,

A handwritten signature in blue ink, appearing to read 'R. Cash', with a long horizontal flourish extending to the right.

Robert Cash, PE
Senior Program Director, Civil Engineering

Initials: RLC



PHASE 2 PROJECT DATA TABLE

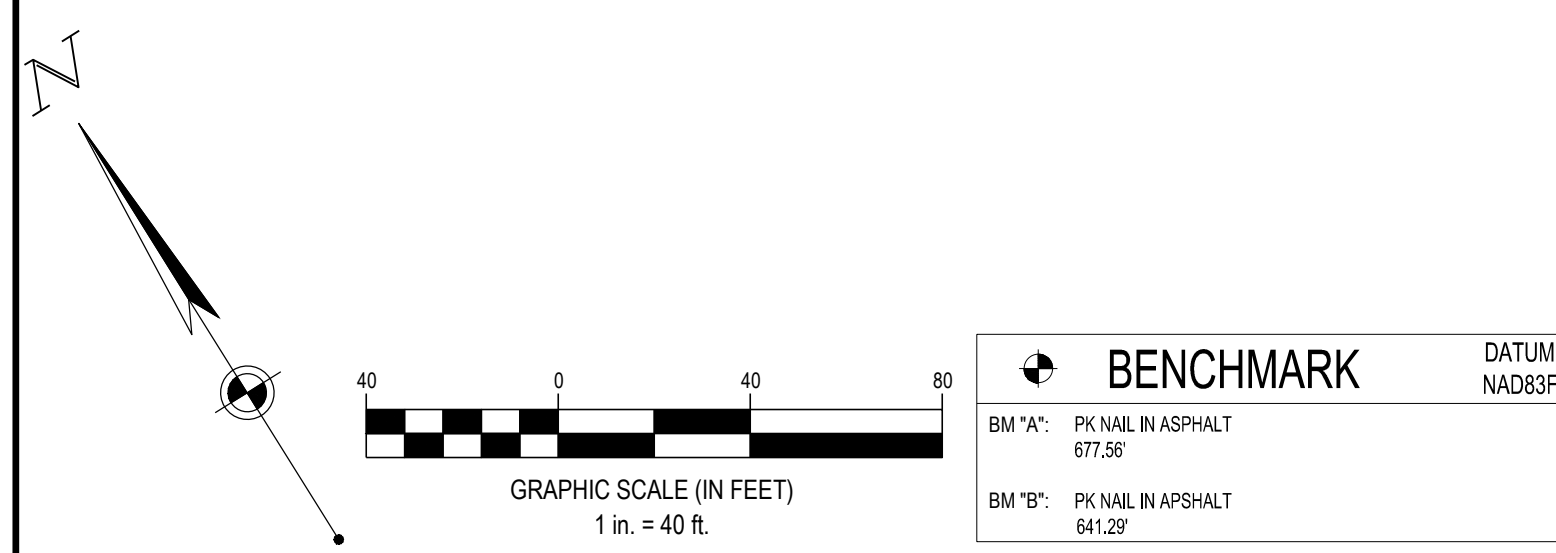
| | |
|----------------------------|--|
| SITE ADDRESS | WEDDINGTON ROAD, CONCORD, NC |
| GROSS SITE AREA: | ±48.7 AC |
| PHASE 1 & 2 AREA: | 22.1 ACRES |
| P.I.D. NO.: | 4599264620000 |
| EXISTING ZONING: | C-2 |
| PROPOSED USE: | MULTIFAMILY RESIDENTIAL (ALLOWED WITH SPECIAL USE PERMIT) |
| MAXIMUM DENSITY: | 15 DUA |
| BUILDING SPACING: | 20' MINIMUM + 1' FOR EVERY FOOT OVER 30' HIGH |
| LARGEST BUILDING SIZE: | 13,706 SF/FL (41,118 TOTAL) |
| CONSTRUCTION TYPE: | TYPE V (WOOD FRAME) |
| MAXIMUM BUILDING LENGTH: | 180 FT |
| PROPOSED BUILDING LENGTH: | 176.5 FT |
| MAXIMUM BUILDING HEIGHT: | 35 FT |
| PROPOSED BUILDING HEIGHT: | 30 FT |
| FRONT SETBACK: | 50' (20' IF ALL PARKING IS BEHIND THE BUILDING) |
| SIDE AND REAR SETBACK: | 20' |
| PROPOSED # OF UNITS: | 165 APARTMENT UNITS 2-BEDROOM 60 UNITS 1-BEDROOM 105 UNITS |
| REQUIRED PARKING: | 1.5 - 2.5/UNIT = 248 SPACES MINIMUM |
| PROPOSED PARKING: | 248 SPACES 1.50/UNIT |
| PROPOSED GARAGE PARKING: | 2 GARAGE(S) WITH 6 SPACES EACH |
| PROPOSED OPEN PARKING: | 232 SPACES |
| IMPERVIOUS: | |
| BUILDING: | 68,530 SF |
| PAVEMENT AND SIDEWALK: | 100,064 SF |
| TOTAL ONSITE: | 168,594 SF (3.87 AC) |
| OFFSITE ROAD AND SIDEWALK: | 1,322 SF |
| BASIN: | 20,343 SF |
| OVERALL TOTAL: | 190,259 SF (4.37 AC) |
| WATERSHED: | YADKIN-PEE DEE RIVER BASIN |
| DRAINAGE BASIN: | YADKIN-PEE DEE RIVER |
| PHASE 2 DENSITY: | (33 UNIT X 5 BUILDINGS) / 11.12 ACRES = 14.8 DUA |
| PHASE 2 OPEN SPACE: | (2.14 ACRES / 11.12 ACRES) X 100 = 19% OPEN SPACE |

LEGEND

REFER TO C1.00 FOR EXISTING FEATURES
LEGEND
PROPOSED

| | | | |
|----------------------------|--|---------------------------------------|--|
| PARKING SPACE COUNT | | BUILDING | |
| SIGN | | CONCRETE CURB | |
| DETECTABLE WARNING MAT. | | PAVEMENT/WALK | |
| CATCH BASIN | | RETAINING WALL | |
| STORM MANHOLE | | PROPOSED HEAVY DUTY ASPHALT PAVEMENT. | |
| SANITARY & STORM CLEANOUTS | | PROPOSED LIGHT DUTY ASPHALT PAVEMENT. | |
| FIRE HYDRANT | | PROPOSED CONCRETE PAVEMENT | |
| LIGHT POLE | | PROPOSED CONCRETE SIDEWALK | |
| CONCRETE BUMPER BLOCK | | | |

COPYRIGHT: THESE DRAWINGS ARE THE PROPERTY OF CESO, INC.



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR (800) 632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE



| NO. | DATE | REVISION DESCRIPTION |
|-----|------|----------------------|
| | | |
| | | |
| | | |
| | | |

CESO NC, Co.
3601 RIGBY ROAD, STE 300
MIAMISBURG, OH 45342
(937) 435-8584
COA: C-4740

ROBERT CASH, PE
BOB.CASH@CESOINC.COM



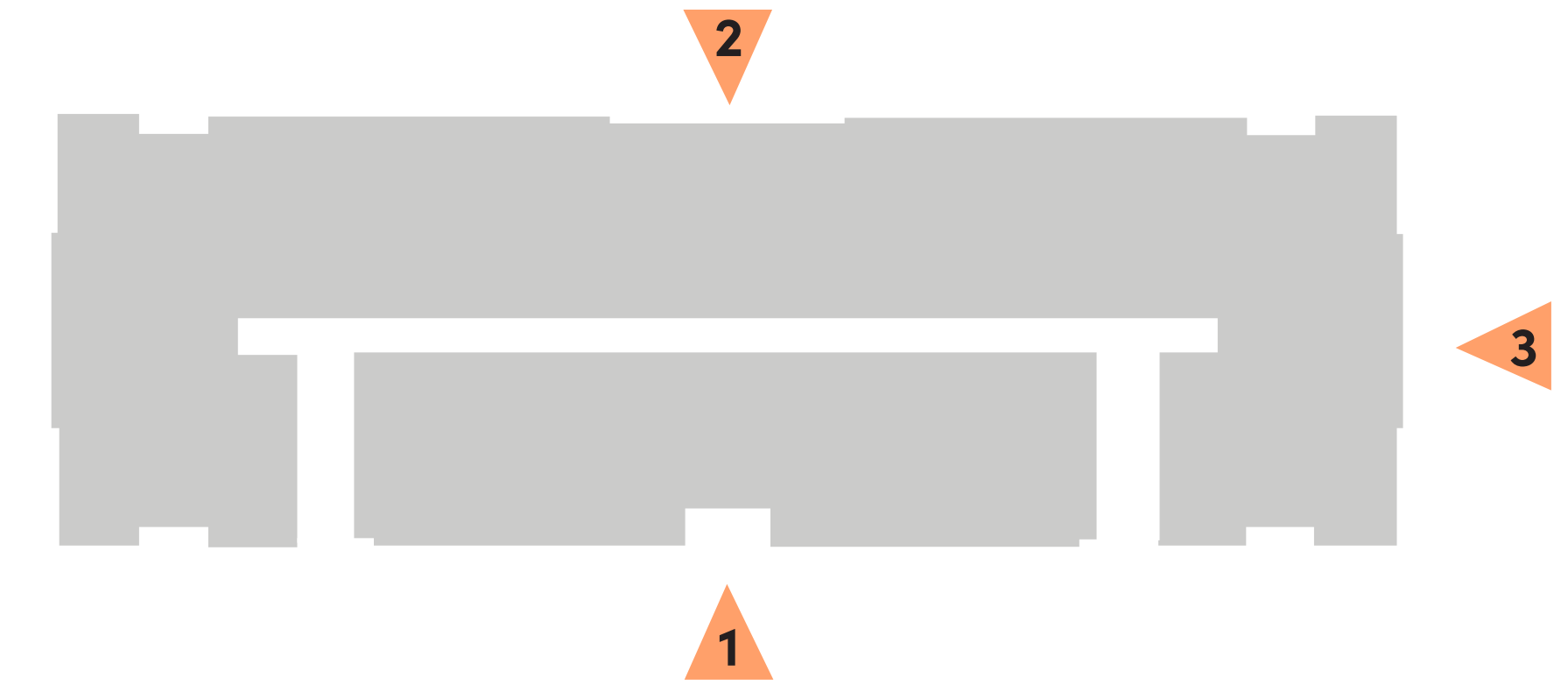
CRESCENT ACQUISITIONS, LLC
WEDDINGTON RIDGE APARTMENTS PHASE 2

SITE PLAN

| | |
|-----------|------------------------|
| ISSUE: | CONSTRUCTION DOCUMENTS |
| DATE: | 10/22/21 |
| JOB NO.: | 759024-01 |
| DESIGN: | JCR |
| DRAWN: | JCR |
| CHECKED: | RLC |
| SHEET NO. | C4.01 |



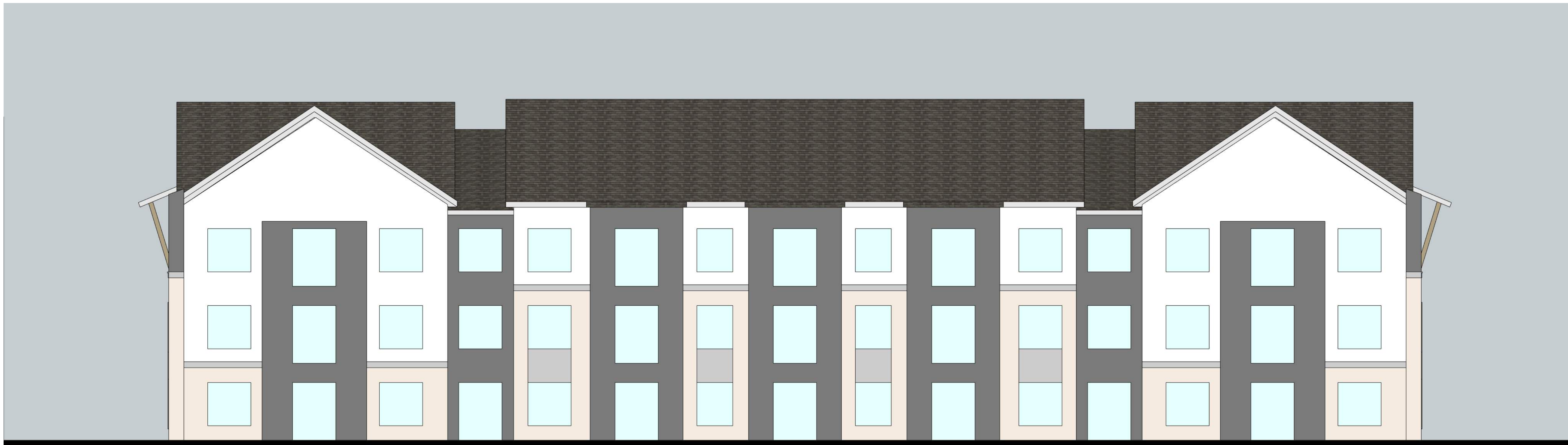
1 **Front Elevation**
Scale: 1/8" = 1'0"








2 **Back Elevation**
Scale: 1/8" = 1'0"



3 **Side Elevations**
Scale: 1/8" = 1'0"

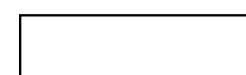

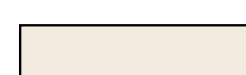




1 **Front Elevation**
Scale: 1/8" = 1'0"

| Material Percentages | | |
|---|----------------|------------------------|
|  | Board & Batten | 1,479 SF - 24.3% |
|  | Lap Siding | 1,789 SF - 29.4% |
|  | Brick | 844 SF - 13.9% |
|  | Glazing | 1,788 SF - 29.4% |
|  | Trim | 176 SF - 2.9% |
| Total | | 6,076 SF - 100% |

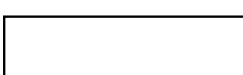






2 **Back Elevation**
Scale: 1/8" = 1'0"

| Material Percentages | | |
|---|----------------|------------------------|
|  | Board & Batten | 1,483 SF - 24.5% |
|  | Lap Siding | 1,752 SF - 28.9% |
|  | Brick | 913 SF - 15.1% |
|  | Glazing | 1,728 SF - 28.5% |
|  | Trim | 188 SF - 3.1% |
| Total | | 6,064 SF - 100% |



3 **Side Elevations**
Scale: 1/8" = 1'0"

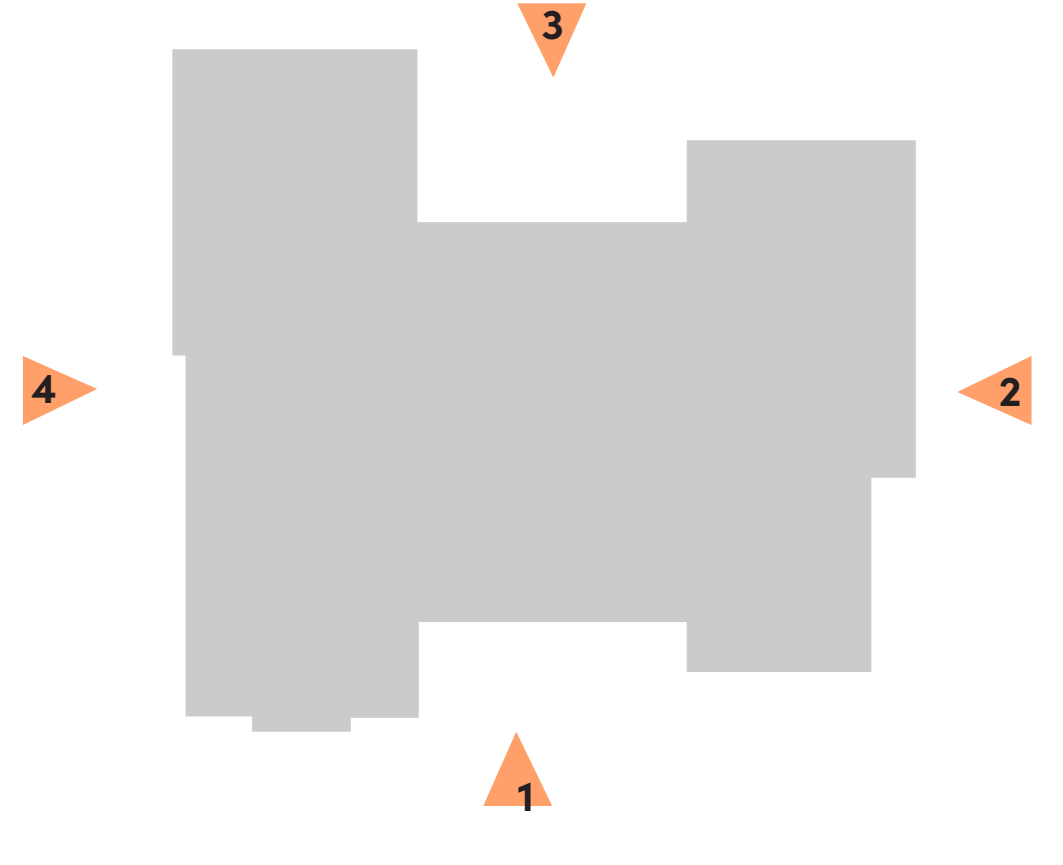
| Material Percentages | | |
|---|----------------|------------------------|
|  | Board & Batten | 932 SF - 34.7% |
|  | Lap Siding | 457 SF - 17.0% |
|  | Brick | 755 SF - 28.1% |
|  | Glazing | 432 SF - 16.1% |
|  | Trim | 110 SF - 4.1% |
| Total | | 2,686 SF - 100% |



1 **Front Elevation: Lobby**
Scale: 1/8" = 1'0"



2 **Side Elevation: Fitness / Yoga**
Scale: 1/8" = 1'0"



3 **Back Elevation: Coffee Bar**
Scale: 1/8" = 1'0"



4 **Side Elevation: Clubroom**
Scale: 1/8" = 1'0"



Front View Looking Towards the Lobby



Back View Looking Towards the Clubroom / Fitness



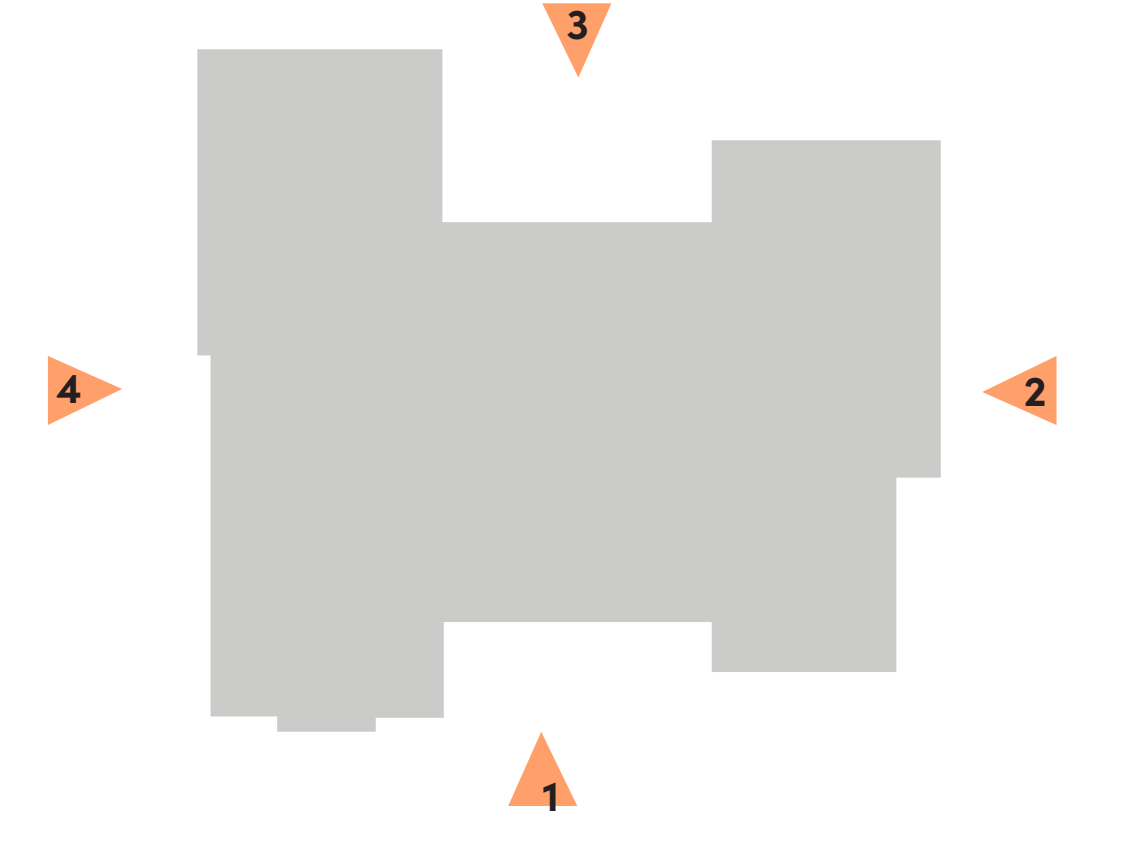
1 Front Elevation: Lobby
Scale: 1/8" = 1'0"

| Material Percentages | | |
|----------------------|-----------------|-------------|
| Board & Batten | 510 SF | 33.1% |
| Brick | 527 SF | 34.1% |
| Glazing | 354 SF | 22.9% |
| Trim | 153 SF | 9.9% |
| Total | 1,544 SF | 100% |



2 Side Elevation: Fitness / Yoga
Scale: 1/8" = 1'0"

| Material Percentages | | |
|----------------------|-----------------|-------------|
| Board & Batten | 543 SF | 47.0% |
| Brick | 289 SF | 25.0% |
| Glazing | 198 SF | 17.1% |
| Trim | 126 SF | 10.9% |
| Total | 1,156 SF | 100% |



3 Back Elevation: Coffee Bar
Scale: 1/8" = 1'0"

| Material Percentages | | |
|----------------------|-----------------|-------------|
| Board & Batten | 812 SF | 53.5% |
| Brick | 188 SF | 12.4% |
| Glazing | 378 SF | 24.9% |
| Trim | 141 SF | 9.3% |
| Total | 1,519 SF | 100% |



4 Side Elevation: Clubroom
Scale: 1/8" = 1'0"

| Material Percentages | | |
|----------------------|-----------------|-------------|
| Board & Batten | 550 SF | 47.5% |
| Brick | 239 SF | 20.7% |
| Glazing | 240 SF | 20.7% |
| Trim | 128 SF | 11.1% |
| Total | 1,157 SF | 100% |

Residential

Wicker Park (PRS2021-01868)

10714 Flowes Store Rd.

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|-------------------------|----------------------|
| 6/18/2021 | 12/7/2021 | 126 SFR Lots in Midland | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|-------|-------|-------|------|
| 41020 | 16000 | 16000 | 9020 |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|-----------------|--------------------|--------------------|----------------------|----------------|------------------------------------|--------|-------|
| 0 | 0 | 0 | 0 | 0 | 1 | 0 | 1 |

Brief Summary

126 lots of single family residential in Midland.

Outstanding Items

2 outstanding items. Pending Cedarvale Pump Station modification approval, NCDOT driveway permit approval, and Duke Energy Encroachment approval.

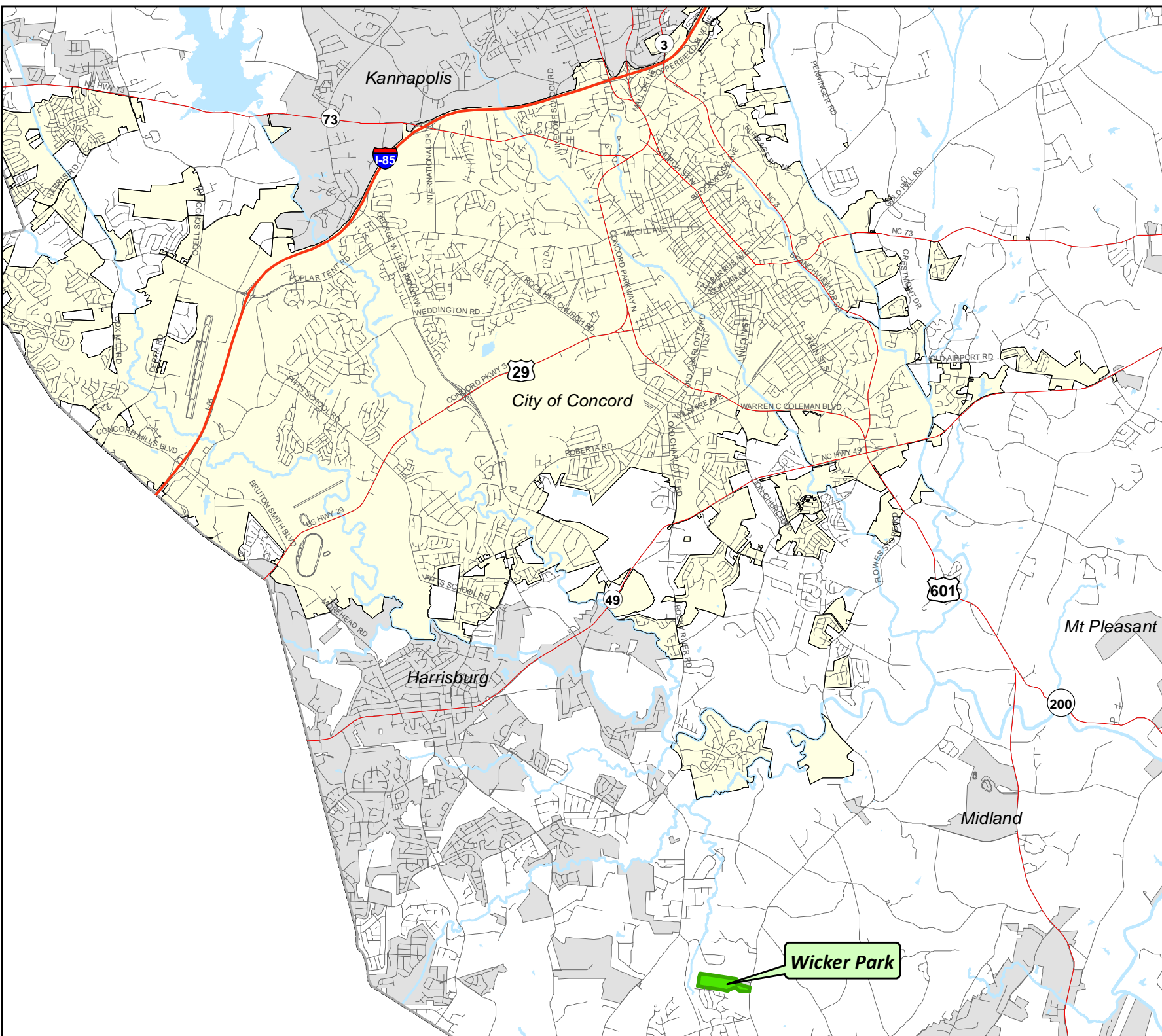
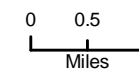
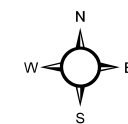
Wicker Park
(PRS2021-01868)

126 Single Family Residential Lots in Midland

Allocation Request: 41,020

Project Scoring: 0

- Wicker Park
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.





January 25, 2022

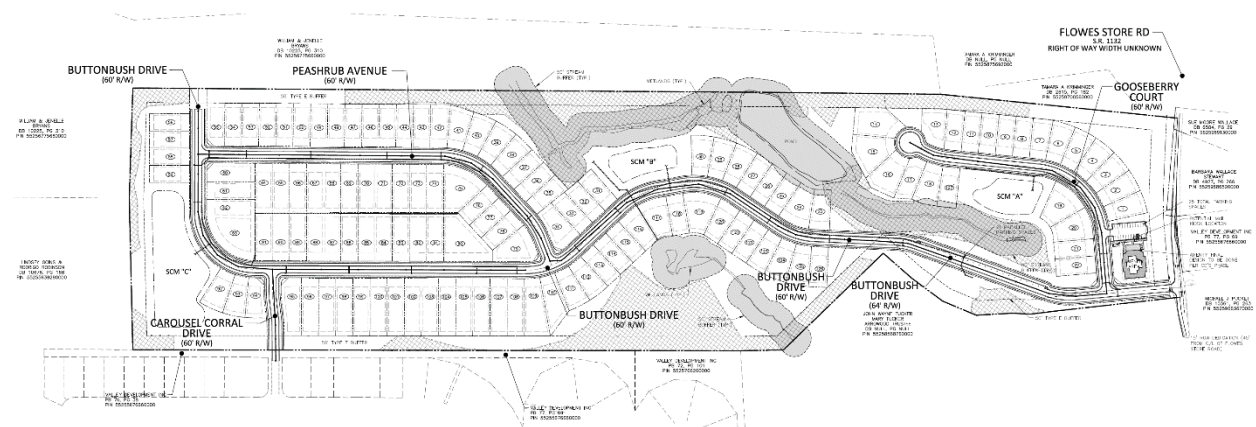
City of Concord Council
35 Cabarrus Avenue West
Concord, NC 28025

Re: Project Narrative – Proposed Wicker Park Subdivision

Dear Members of Concord City Council:

Wicker Park is a proposed Pulte Homes, single-family residential development in the Town of Midland, on Flowes Store Road, approximately 10 miles south of downtown Concord. Midland annexed a majority of the property in April 2020, and rezoned the property SFR-CU in June 2020 to allow for the proposed residential subdivision. An additional 1.5 acre parcel was annexed by Midland in September 2021, and added to the proposed development in an amendment to the conditional zoning in October 2021.

The development will consist of 126 homes on the 69.7 acre property (1.81 units per acre). Minimum lot size is 61' x 140' (8,400 ft²). The site plan includes 10.91 acre of tree save (15% of total site area) and avoids all impacts to regulated streams and wetlands.



Pulte intends to build homes ranging from 2,000 to 3,700 square feet, and sales prices are expected to range from the low \$400s to the low \$500s. Vinyl siding is not permitted per the conditional zoning district. In adherence with Midland's ordinance, a minimum of 70% of the homes will feature a recessed garage (minimum 3.5' behind primary façade).





The project will require a 1,964' extension of a 12" water main from the intersection of Morrison Road and Flowes Store Road to the site. This donated infrastructure opens up several additional properties for future development utilizing Concord public water. Pulte has acquired all necessary right of way to complete the water line extension.

Wastewater from the community will flow to the existing Cedarvale Farm pump station, which has sufficient capacity to serve the project. The force main also has adequate capacity to serve the additional 126 homes.



Pulte intends to commence development in Spring 2022 and start the first homes in early 2023. Buildout timeline will depend on market conditions.

Sincerely,

Matt Kearns

Matt Kearns
Director of Land Acquisition
Telephone: (704) 972-7389
Email: matt.kearns@pultegroup.com

SITE LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SANITARY SEWER EASEMENT LINE
- STORM DRAINAGE EASEMENT LINE
- CENTER LINE
- SETBACK LINE
- 50' STREAM BUFFER
- CONCRETE SIDEWALK/DRIVEWAY

| Line # | LENGTH | DIRECTION |
|--------|---------|------------------|
| L1 | 25.502 | S81° 25' 25.67"E |
| L2 | 15.152 | S74° 19' 29.96"E |
| L3 | 15.184 | N4° 15' 11.73"E |
| L4 | 10.589 | S75° 11' 58.02"E |
| L5 | 42.137 | S12° 47' 56.70"W |
| L6 | 14.970 | N86° 13' 58.81"W |
| L7 | 25.960 | N17° 51' 54.19"E |
| L8 | 15.501 | S87° 19' 42.39"E |
| L9 | 84.130 | S87° 57' 45.39"E |
| L10 | 60.829 | S77° 33' 58.71"E |
| L11 | 128.158 | S84° 09' 55.69"E |
| L12 | 127.062 | S58° 10' 28.14"E |
| L13 | 60.066 | N7° 45' 13.92"E |

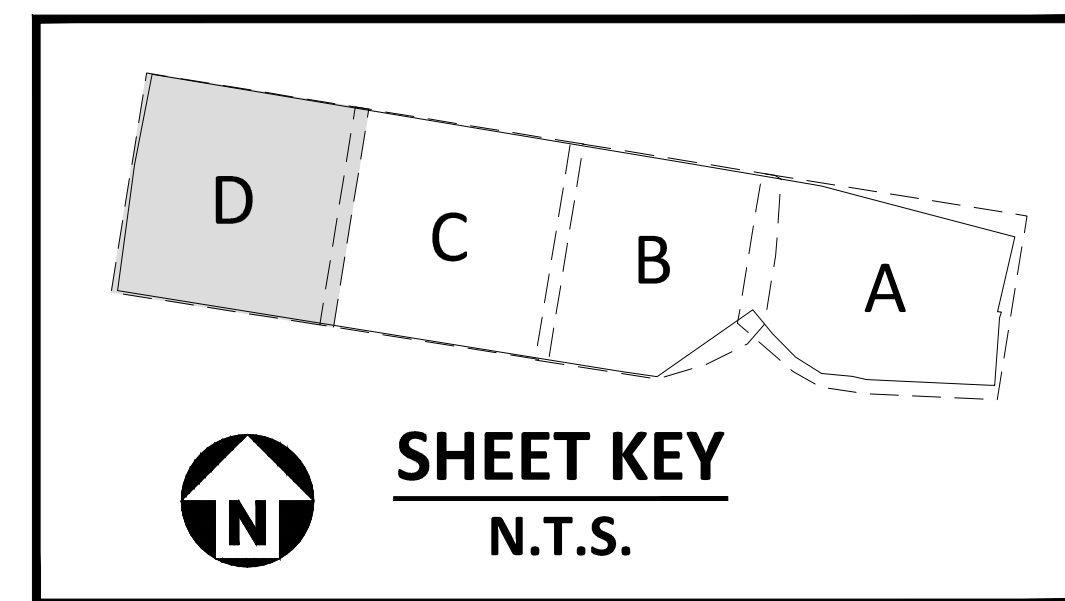
| DEVELOPER/APPLICANT: | |
|--|--|
| PULTE GROUP 11121 CARMEL COMMONS BLVD, SUITE 450 CHARLOTTE, NORTH CAROLINA 28226 | |
| PREPARED BY: MCADAMS COMPANY (STUART WOODARD) 3430 TORRINGTON WAY, SUITE 110 CHARLOTTE, NC 28277 704-527-0800 WOODARD@MCADAMSCO.COM | |
| TAX ID NUMBER: 55256679870000 | |
| TOTAL SITE ACREAGE: | 69.69 ACRES |
| CURRENT ZONING: | SFR-CU |
| AVERAGE LOT SIZE: | 10,736 SF |
| PROPOSED DENSITY: | 1.8 LOTS PER ACRE |
| PROPOSED LOTS: | 126 LOTS |
| PROPOSED USE: | SINGLE FAMILY RESIDENTIAL |
| LOT DIMENSIONS | |
| MINIMUM LOT SIZE REQUIRED: | 8,400 SF |
| MINIMUM LOT SIZE PROVIDED: | 8,400 SF |
| MINIMUM CORNER LOT SIZE REQUIRED: | 9,240 SF |
| MINIMUM CORNER LOT SIZE PROVIDED: | 9,240 SF |
| SETBACKS | |
| PUBLIC STREETS: | 30FT |
| SIDE YARD: | 6 FT; 12 FT (CORNER) |
| REAR YARD: | 15 FT |
| REQUIRED TREE SAVE AREA: | 6% OF SITE (4.1 AC) |
| TREE SAVE AREA PROVIDED: | 10.91 ACRES |
| REQUIRED OPEN SPACE: | 10% OF SITE (6.8 AC) |
| PROVIDED OPEN SPACE: | 10.91 ACRES (SATISFIED WITH TREE SAVE) |

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

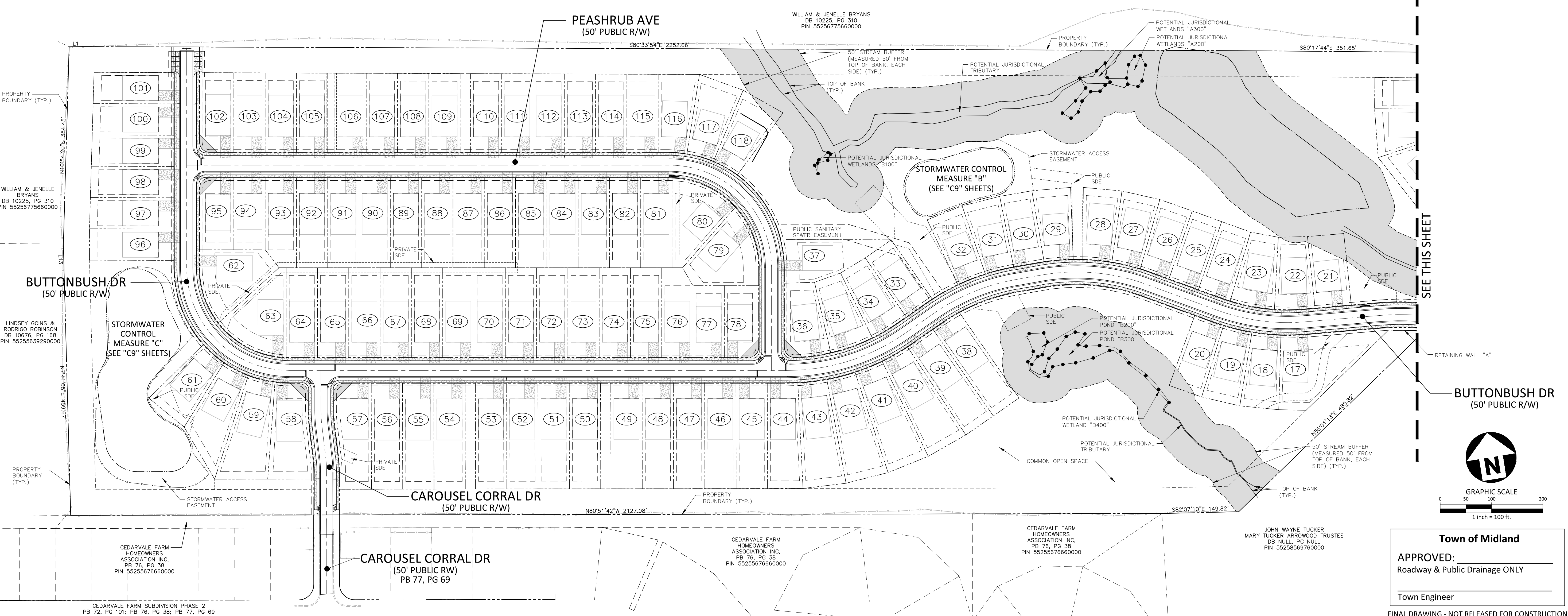
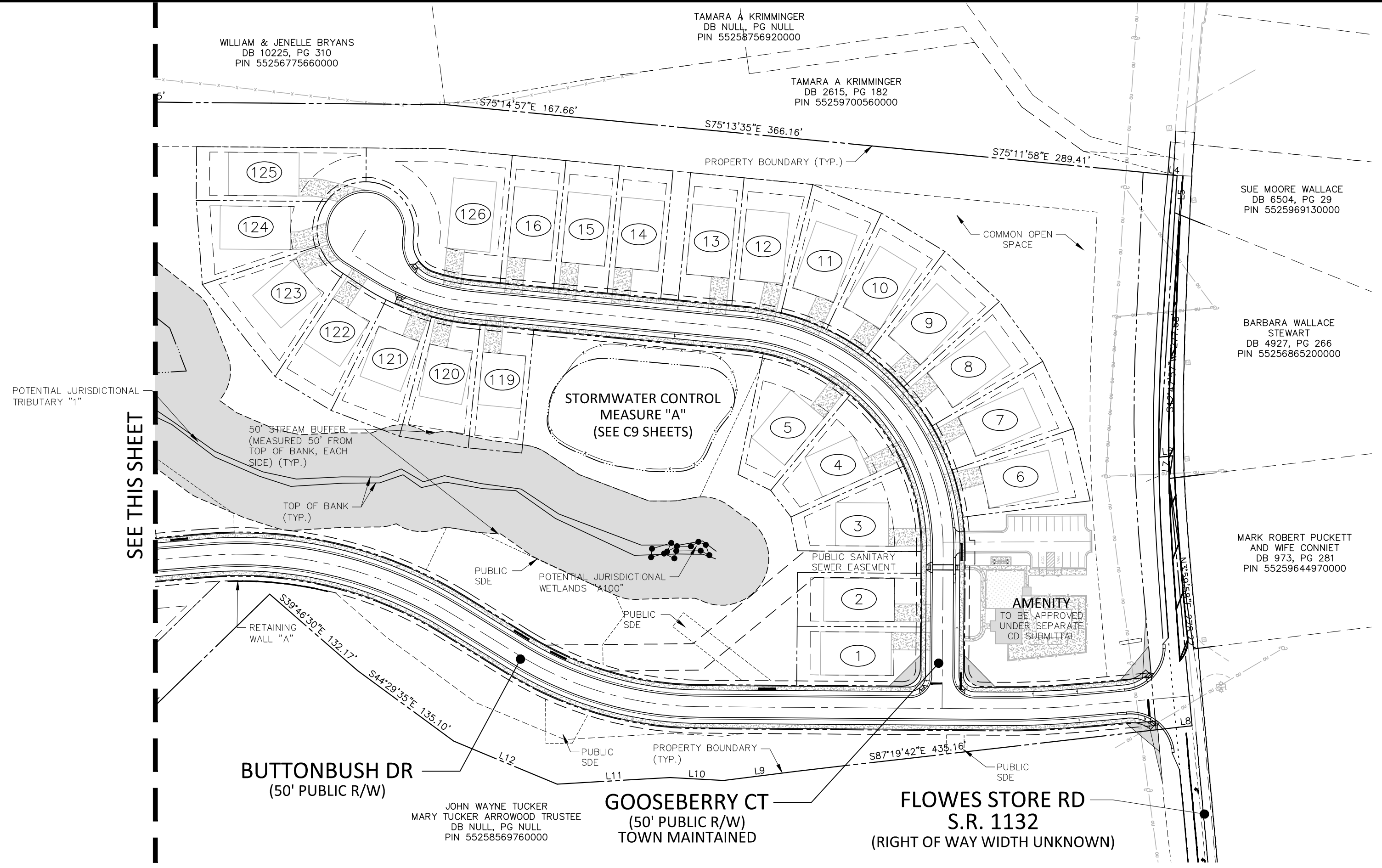
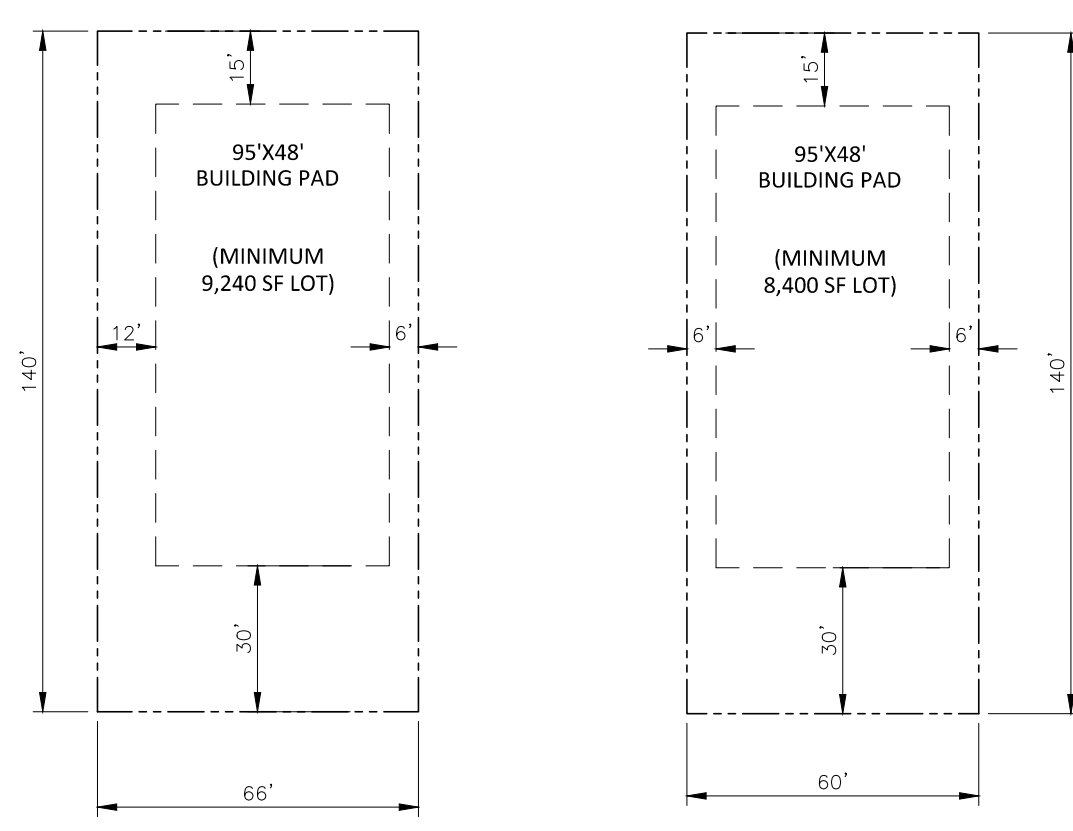
SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE, UTILITY, AND E&S NOTES



Know what's below.
Call before you dig.



TYPICAL CORNER LOT SIZE TYPICAL INTERNAL LOT SIZE

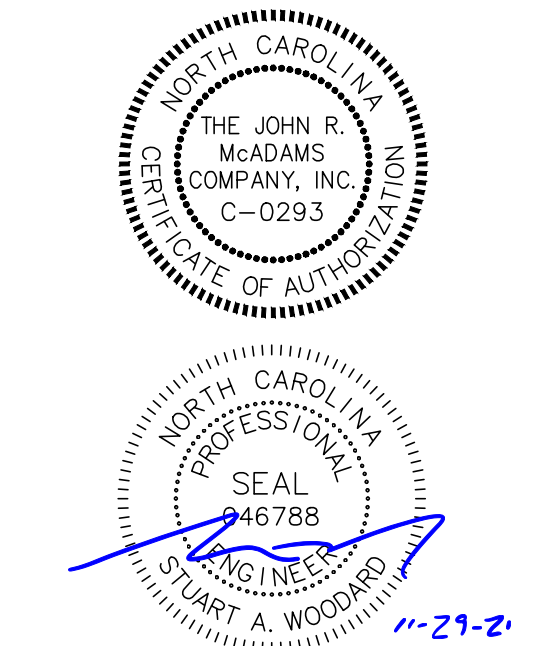


The John R. McAdams Company, Inc.
3430 Torrington Way
Suite 110
Charlotte, NC 28277
phone 704. 527. 0800
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
PULTE GROUP - MATT KEARNS
11121 CARMEL COMMONS BLVD, SUITE 450
CHARLOTTE, NC 28226
PHONE: 704. 972. 7389



WICKER PARK
CONSTRUCTION DRAWINGS
10714 FLOWES STORE ROAD
TOWN OF MIDLAND, NORTH CAROLINA, 28107



REVISIONS

| NO. | DATE | REVISION |
|-----|------------|-------------------------------------|
| 1 | 09.07.2021 | REVS PER AJHA 1ST REVIEWS |
| 2 | 09.17.2021 | REVS PER 1ST NCDOT REVIEW |
| 3 | 10.18.2021 | REVS PER 2ND NCDOT REVIEW |
| 4 | 10.25.2021 | REVS PER 2ND NCDOT REVIEW |
| 5 | 11.01.2021 | REVS PER 2ND CDC REVIEW |
| 6 | 11.17.2021 | REVS PER 2ND MIDLAND REVIEW |
| 7 | 11.29.2021 | REVS PER 3RD NCDOT & 3RD CDC REVIEW |

PLAN INFORMATION

PROJECT NO. 2021210184
FILENAME 2021210184-OAS1.dwg
CHECKED BY SAW
DRAWN BY SAW
SCALE 1"=100'
DATE 06.08.2021

SHEET
OVERALL SITE PLAN
C2.00

Town of Midland
APPROVED: _____
Roadway & Public Drainage ONLY
Town Engineer

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

Residential

Wallace Meadows (PRS2018-02493)

10560 Harris Rd.

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|--------------|----------------------|
| 9/27/2018 | 6/2/2021 | 81 townhomes | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|-------|-------|------|------|
| 19440 | 12000 | 7440 | |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|-----------------|--------------------|--------------------|----------------------|----------------|------------------------------------|--------|-------|
| 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |

Brief Summary

81 front-loaded townhomes on Harris Road. Rezoning case Z(CD)11-18 unanimously denied by the and Planning and Zoning Commission on July 17, 2018, zoned to RV-CD by City Council on August 9, 2018. The preliminary plat was approved on May 15, 2019.

Outstanding Items

There are 14 issues open on this site plan. The applicant needs to submit documentation of NCDOT driveway permit and offsite easement documentation, in addition to addressing some technical comments.

Wallace Meadows

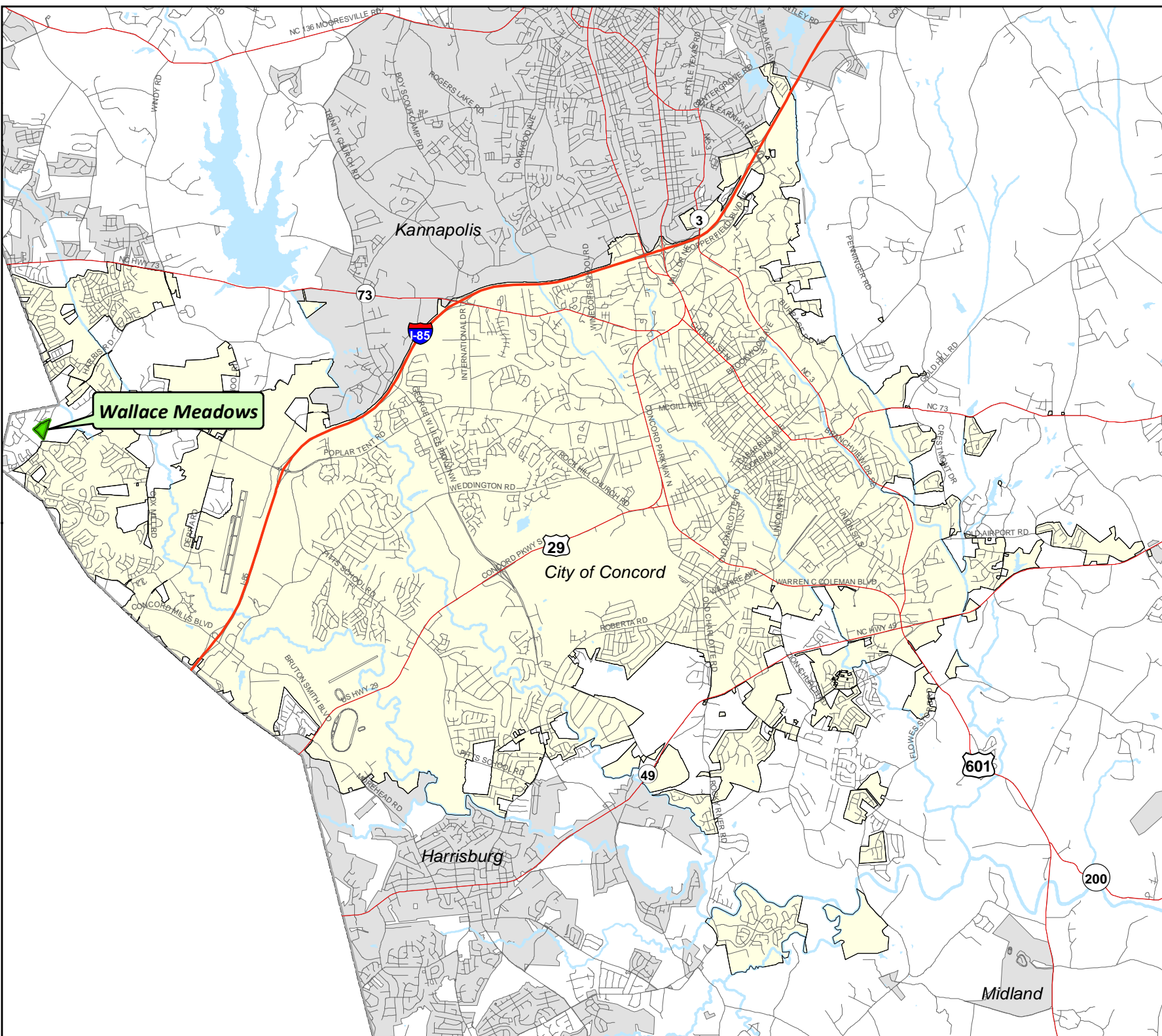
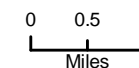
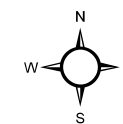
(PRS2018-02493)

81 Townhomes

Allocation Request:
19,440

Project Scoring: 0

- Wallace Meadows
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.



January 20, 2022

M. Sue Hyde, PE
City of Concord Engineering Department
PO Box 308
Concord, NC 28026

RE: Wallace Meadows
Sanitary Sewer System

Eastwood Homes is proposing to develop a residential community on Harris Road, in Concord, North Carolina. The development is located on one parcel and totals approximately 15.20 acres and will consist of townhomes to provide high quality, new construction housing to 81 households who will contribute to the long-term economic growth of Concord. Eastwood Homes projects a total investment of over \$7,500,000.00 in the development of this neighborhood, including nearly \$17,000,000.00 of construction work. The price point for the townhomes will be starting in the high \$300k range.

In general, the subject site is located on the north side of Harris Road, in Concord, North Carolina. The triangular-shaped site is bounded by Harris Road to the East, an existing gravel driveway with single-family homes to the south, and a stream to the west. The property was is zoned as City of Concord RV-CD.

The townhomes proposed for this development will include a mix of 3 and 4-bedroom units, with private garages. Site amenities include a tot lot playground area by others and a 5-foot nature trail.

The project is being converted to a private sewer system. The construction documents permitting applications to NCDEQ are being developed at this time. We expect them to be submitted by March 1, 2022.

We are nearing approval of our land development plans for Wallace Meadows. Construction is anticipated to commence in mid-2022.

We believe this development will be a great location for new and existing Concord residents to call home as it provides a convenient location to access the jobs, amenities and community that the City of Concord has to offer.

Respectfully,



Robert Cash, PE
Senior Program Director, Civil Engineering

Initials: RLC

Nonresidential

BP—The Mills at Rocky River (PR2021-02007)

1002 Holden Ave

| First Submittal | Last Submittal | Units | Technically Approved |
|------------------------|-----------------------|--------------------------------|-----------------------------|
| 7/7/2021 | 11/16/2021 | Convenience Store and Car Wash | Yes 2/9/22 |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|--------------|-------------|-------------|-------------|
| 2200 | 2200 | | |

| Office | Small Area Plan | Part of Approved Mixed Use | Annexation (Not ED) | Logistics/Distribution | Total |
|---------------|------------------------|-----------------------------------|----------------------------|-------------------------------|--------------|
| 0 | 0 | 1 | 0 | 0 | 1 |

Brief Summary

BP store and Carwash at the intersection of Rocky River Rd and Holden Ave. The property was voluntarily annexed on July 17, 1997. The original project “Village at Rocky River” was approved by City Council in August of 1997. Rezoning case Z-13-05 was approved and therefore the whole property is zoned PUD in 2005. The Technical Data Sheet was amended in case Z(CD)-06-20 and the Planning and Zoning Commission voted to approve on February 19, 2021.

Outstanding Items

None.



**BP
The Mills at
Rocky River**

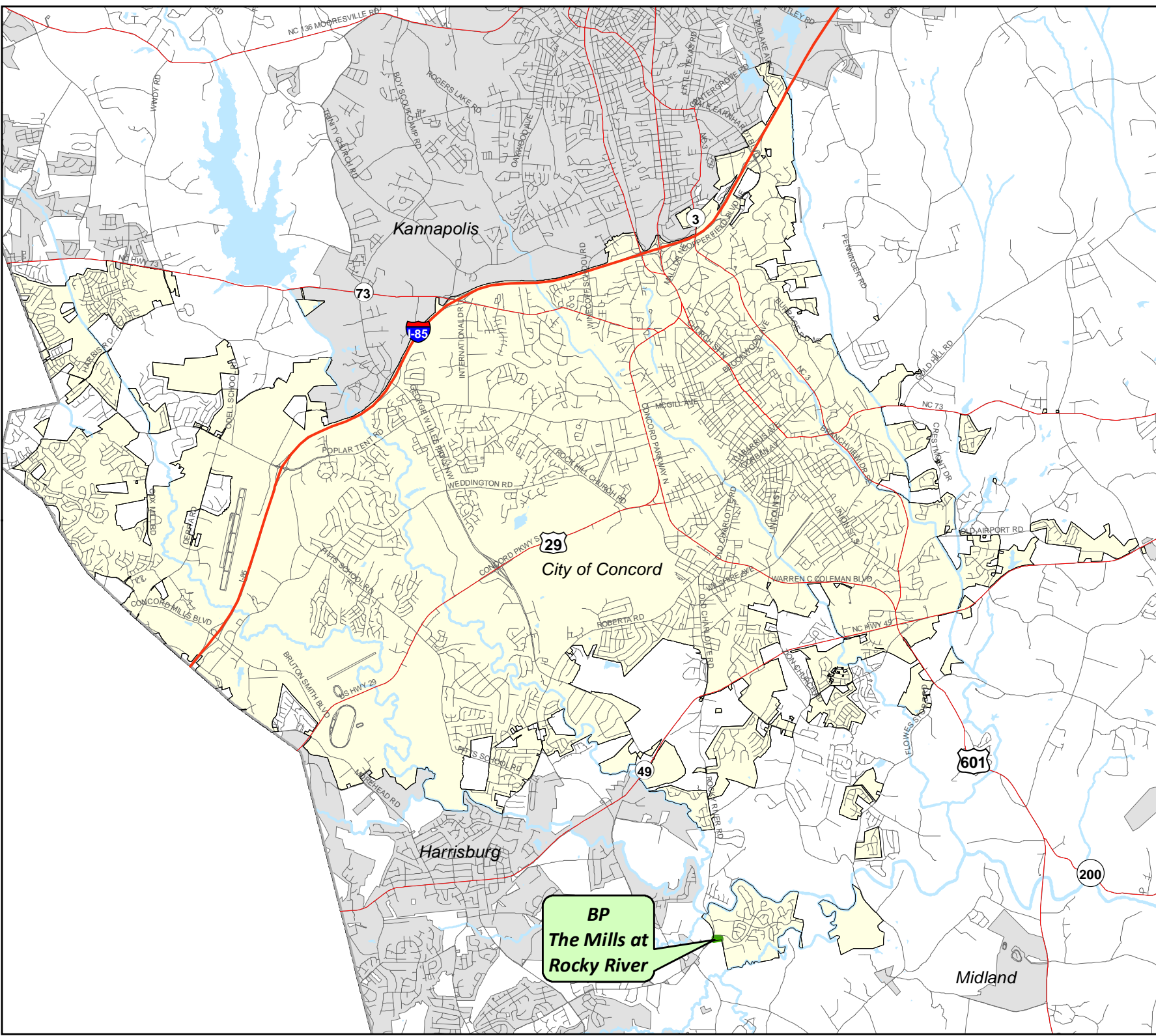
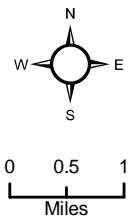
(PRS2021-02007)

**Convenience Store
and Car Wash**

**Allocation Request:
2,200**

Project Scoring: 1

- BP The Mills
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.



PIEDMONT DESIGN ASSOCIATES, P.A.
125 East Plaza Drive, Suite #101
 Mooresville, NC 28115
Phone: 704-664-7888 Fax: 704-664-1778
Email: jhart@pdapa.com

Engineering
Surveying
Planning

January 4, 2022

RE: BP Mills at Rocky River

M. Sue Hyde, PE
Engineering Director
City of Concord

This project consists of the construction of a BP convenience store with a carwash at the corner of Rocky River Road and Holden Avenue SW in Concord, Cabarrus County, North Carolina. This project will add a flow of 2100 gallons per day to the existing sanitary sewer system. This project connects to an existing manhole in the Water and Sewer Authority of Cabarrus County gravity system.

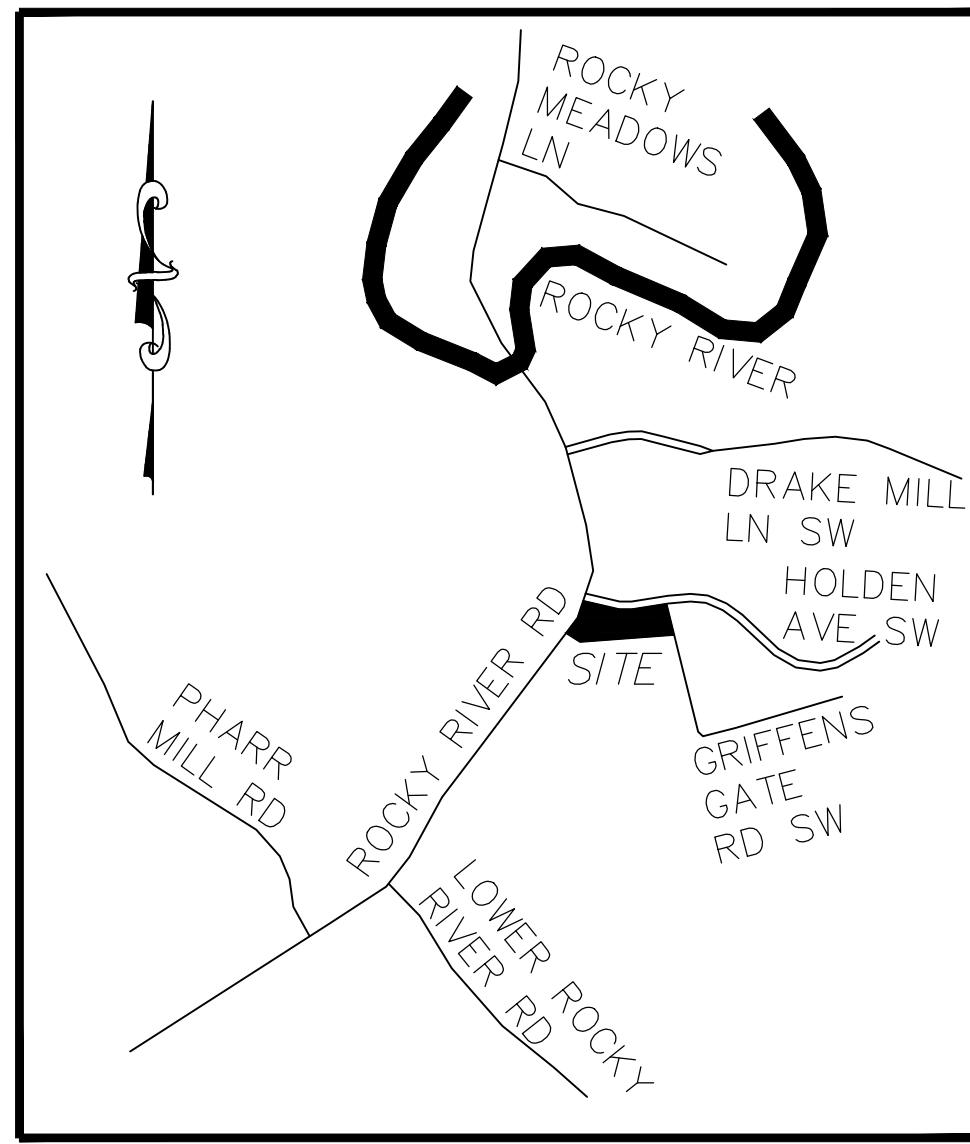
This project is a convenience store and carwash highway commercial building type to be constructed in a PUD zoning district on a single lot. Sustainability features of this project include a cardboard recycling dumpster pad, EPA approved leak detection for underground storage tanks, use of synthetic turf to reduce water usage, a white roof membrane to reflect heat, exclusive use of LED lighting and installation of 2 electric vehicle charging stations (an investment of over \$200,000).

We request, on behalf of the applicant, sewer allocation from the City of Concord to meet the flow demands as outlined above and in accordance with the Public Wastewater Collection System Extension or Modification Application submitted on November 11, 2021.

Please call me if you have any questions, thank you.

Piedmont Design Associates, P.A.

John H. Hart
Design Technician

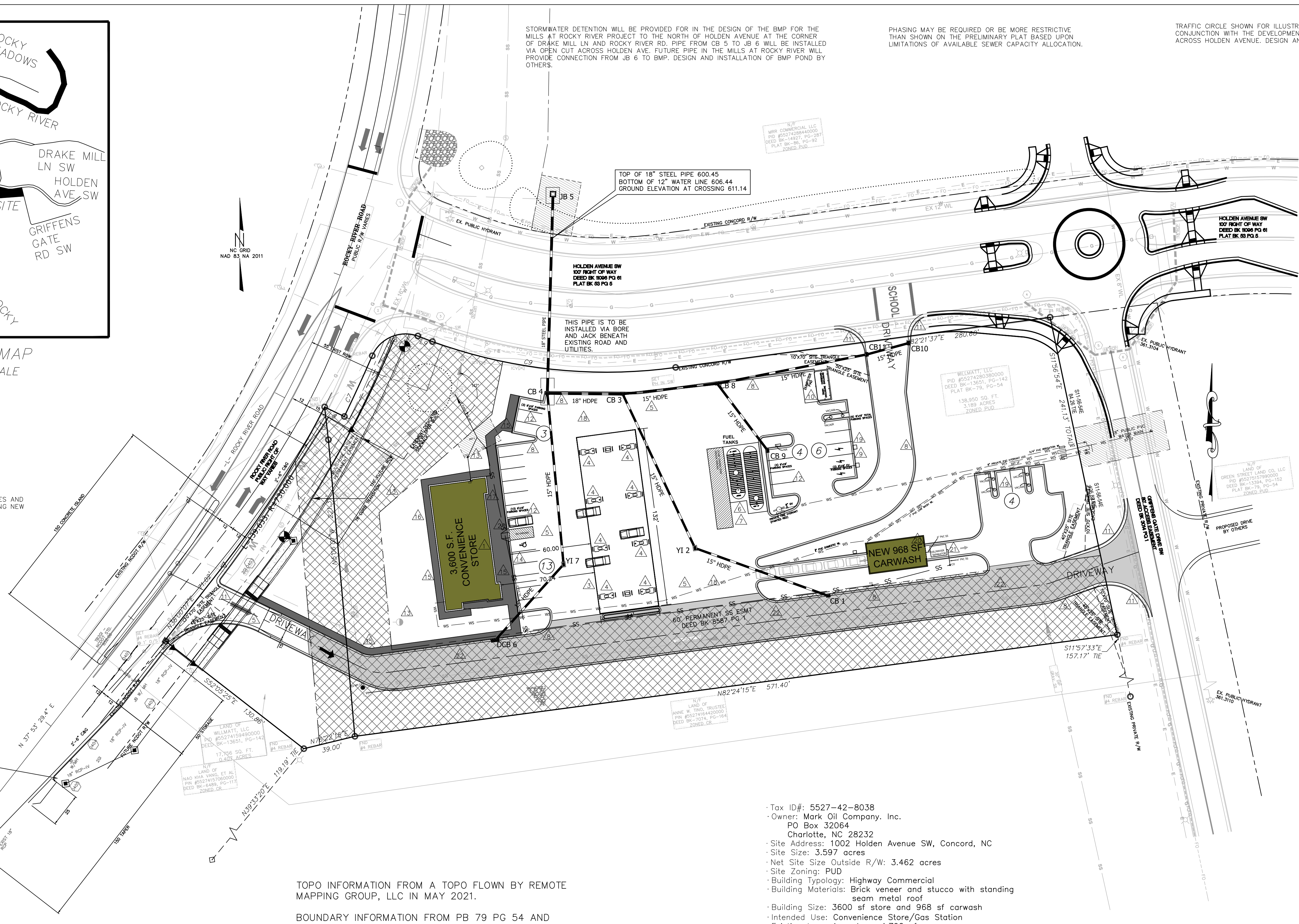


VICINITY MAP
NOT TO SCALE



Know what's below.
Call before you dig.

CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES AND FIELD VERIFY THEIR LOCATION PRIOR TO INSTALLING NEW STORM, SEWER AND WATER LINES.



TOPO INFORMATION FROM A TOPO FLOWN BY REMOTE MAPPING GROUP, LLC IN MAY 2021.

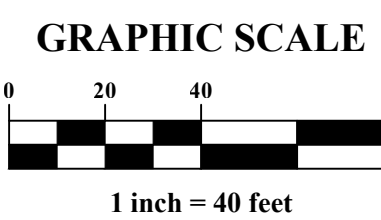
BOUNDARY INFORMATION FROM PB 79 PG 54 AND DB 13651 PG 142.

- INSTALL 3600 SF CONVENIENCE STORE BUILDING.
- INSTALL NEW HANDICAPPED ACCESS RAMP WITH SIGNAGE AT PARKING SPACES.
- INSTALL NEW 44'x132' CANOPY W/8 COLUMNS SEE MANUF. DWGS FOR FOOTING LOCATIONS.
- INSTALL 8 PUMP ISLANDS W/ 8 MPD'S. (2) PUMP ISLANDS W/ DIESEL DISPENSERS.
- ALL YARD CONCRETE TO BE 8" THICK, EXCEPT WHERE INDICATED ON PLAN. OTHER AREAS WILL BE 6" THICK WITH 6x6 - W2.9 x 2.9 WELDED WIRE FABRIC.
- INSTALL 1- 25,000 G. & 1-20,000(12K/BK) G. DOUBLE WALL UST'S
- INSTALL NEW DOUBLE WALL PRODUCT PIPING.
- INSTALL NEW 18" STANDARD CURB & GUTTER.
- INSTALL (3) NEW ELECTRIC VEHICLE CHARGING STATIONS.
- INSTALL 22'x10'x8" THICK CONCRETE TRASH DUMPSTER PAD WITH 10' APRON.
- INSTALL NEW 2'-6" STANDARD CURB IN NCDOT AND QTY OF CONCORD RW.
- GENERAL CONTRACTOR TO PAINT (1) 17'x19' HANDICAP SPACE, (27) 9'x19' PARKING SPACES, (2) 12'x60' VENDOR PARKING SPACES AND TRAFFIC CONTROL STRIPING. PARKING SPACES TO BE BLACK DYED CONCRETE NOT ASPHALT.

- INSTALL NEW LANDSCAPING TO MEET AGENCY REQUIREMENTS.
- MONOLITHIC CURB.
- SIDEWALKS MUST BE A MINIMUM OF 48" WIDE, 4" THICK AND HAVE A MAXIMUM LONGITUDINAL SLOPE OF 1 IN 20 WITH A MAXIMUM CROSS SLOPE OF 1/4" PER FOOT. SEE 104-106.1
- UNDERGROUND POWER AND TELEPHONE SERVICE (COORDINATE WITH OWNER)
- INSTALL LONG/SHORT TERM BICYCLE PARKING RACK UNDER CANOPY OVERHANG OF BUILDING. SEE DETAIL ON SHEET S-3.
- DRIVING SURFACE SHALL BE CAPABLE OF SUPPORTING 80,000 POUNDS.
- VACUUM/AIR UNITS (6) TOTAL AND AIR UNIT (1)
- INSTALL 44' x 22' CARWASH BUILDING.
- OIL/WATER SEPARATOR-SEE SHEET P-CW CAR WASH PLUMBING FOR DETAILS
- ASPHALT PAVING IN SHADED AREA (17472 SF) TO MEET THE FOLLOWING SPECIFICATION:
10" COMPACTED ABC STONE BASE
2.25" INTERMEDIATE COURSE 1-19.0X
3" SURFACE COURSE SF9.5X

- Tax ID#: 5527-42-8038
- Owner: Mark Oil Company, Inc.
PO Box 32064
Charlotte, NC 28232
- Site Address: 1002 Holden Avenue SW, Concord, NC
- Site Size: 3.597 acres
- Net Site Size Outside R/W: 3.462 acres
- Site Zoning: PUD
- Building Typology: Highway Commercial
- Building Materials: Brick veneer and stucco with standing seam metal roof
- Building Size: 3600 sf store and 968 sf carwash
- Intended Use: Convenience Store/Gas Station
- Existing Impervious Area: 4,790 sf
- Net New Impervious Area proposed: 75,402 sf/150805 sf=50.00%
- Total Impervious Area at Build Out: 76,858 sf
- Impervious Store: 3600 sf
- Impervious Carwash: 968 sf
- Impervious Concrete: 54,280 sf
- Impervious Asphalt: 17,975 sf
- Anticipated Start & Completion Date: 5/31/21 to 12/15/21
- Watershed: This site is not located in a watershed.
- Flood: This site does not lie in a Regulated Floodplain per FEMA Panel #3710552700K Eff. 10-16-2018.
- Buffers: A 25' buffer yard will be required along the South and Southwest property lines adjacent to CR zoning.
- Public Streets: This site has +/-800' of frontage along two public rights of way. No improvements are required to existing streets. Street trees are required.
- Prop. Parking Required: 6 Space/1000 SF = 3,600 SF/1000 SF = 22 Spaces required.
- Proposed Parking Provided: 30 Spaces Incl. 1 ADA Space and 3 EV Charging spaces
- Setbacks:
Front: 0'. Side: 0'. Rear: 0'.
- Access: Access to this site will be provided by the three ingress/egress drives along Rocky River Road, Holden Avenue SW and Griffens Gate Drive SW.
- Utilities: This site will use water and sanitary sewer services from WSACC Utilities.
- Lighting: Lighting will be provided on this site. See plans by others.

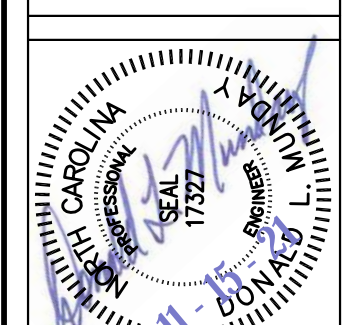
OIL/WATER SEPARATORS AND GRIT REMOVAL FOR AUTO-WASH WILL BE REQUIRED IN ACCORDANCE TO THE CITY CODE OF ORDINANCE CHAPTER 62 AND THE CITY'S FOG REQUIREMENTS.



PIEDMONT DESIGN
ENGINEERING SURVEYING & PLANNING
Associates, P.A.
Suite 101 Westfield Center, 125 East Plaza Drive
Charlotte, NC 28215
Phone: (704) 664-7888 Fax: (704) 664-1778
www.pdpape.com
N.C. REG. S. License No.: C-1007

PREPARED FOR:
MARK OIL CO., INC.
P.O. BOX 32064
CHARLOTTE, NC 28232
704-375-4249

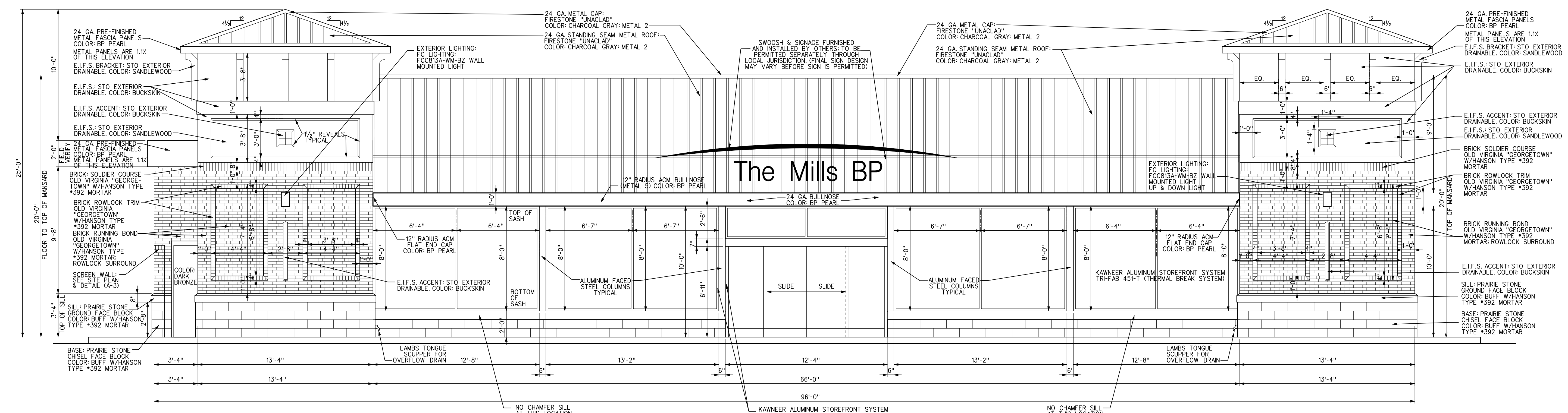
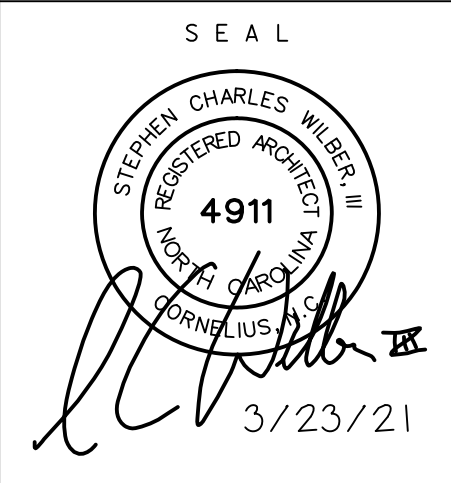
SITE PLAN
BP STORE, THE MILLS AT ROCKY RIVER
1002 HOLDEN AVENUE SW
CONCORD, NORTH CAROLINA



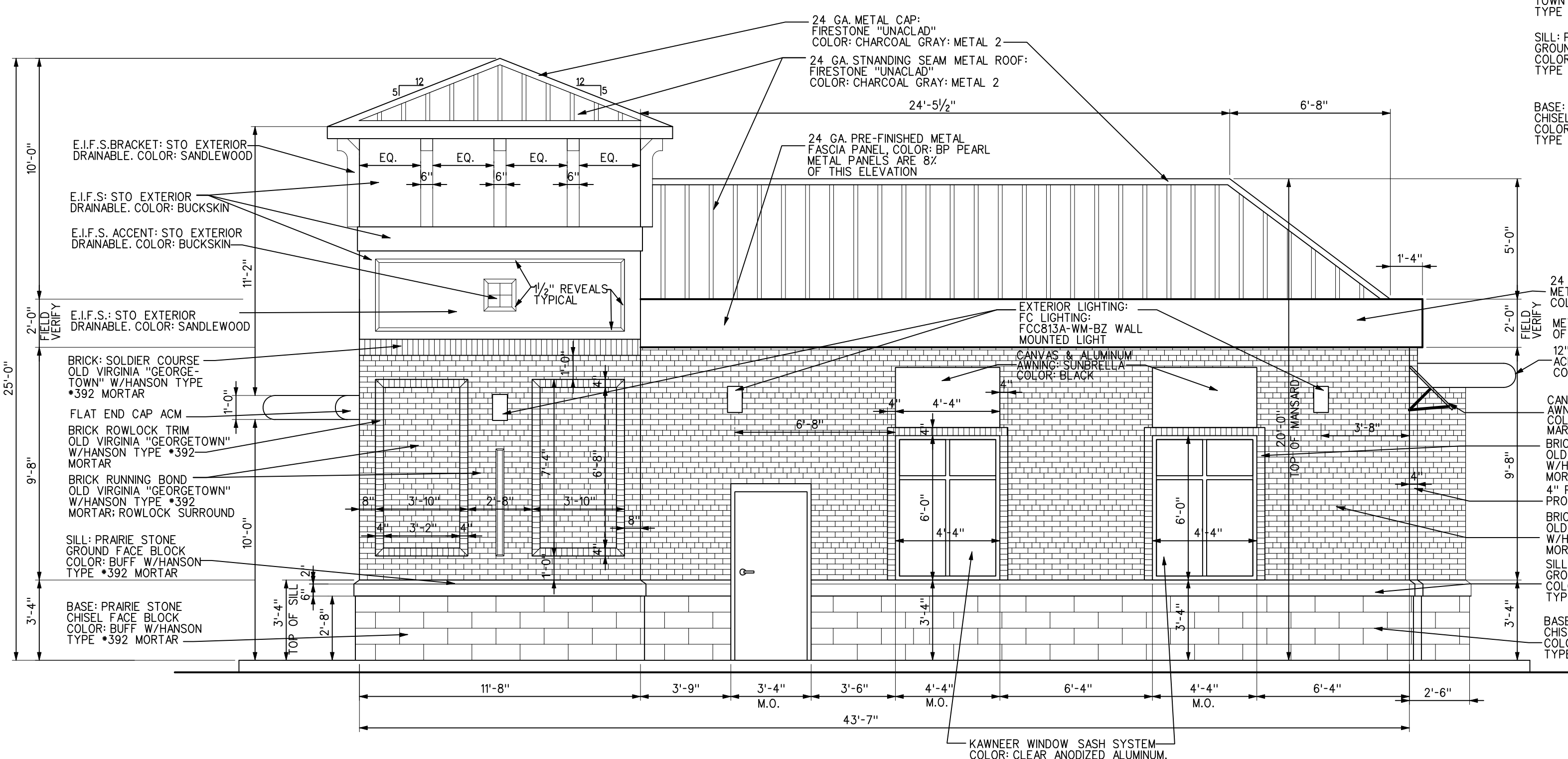
| REVISIONS | BY |
|---------------------------------------|-----|
| REVISED PER CONCORD COMMENTS 6/28/21 | JHH |
| REVISED PER CONCORD COMMENTS 8/25/21 | JHH |
| REVISED PER CONCORD COMMENTS 9/27/21 | JHH |
| REVISED PER CONCORD COMMENTS 10/11/21 | JHH |
| REVISED PER CONCORD COMMENTS 10/27/21 | JHH |
| REVISED PER CONCORD COMMENTS 11/15/21 | JHH |

Date: 4/01/21
Scale: 1"=40' Hor.
1" CONT. INT.
Drawn: JHH
Checked: DLM
Job: 2020-05-03
Sheet
S-1
11/15/21
3 Sheets

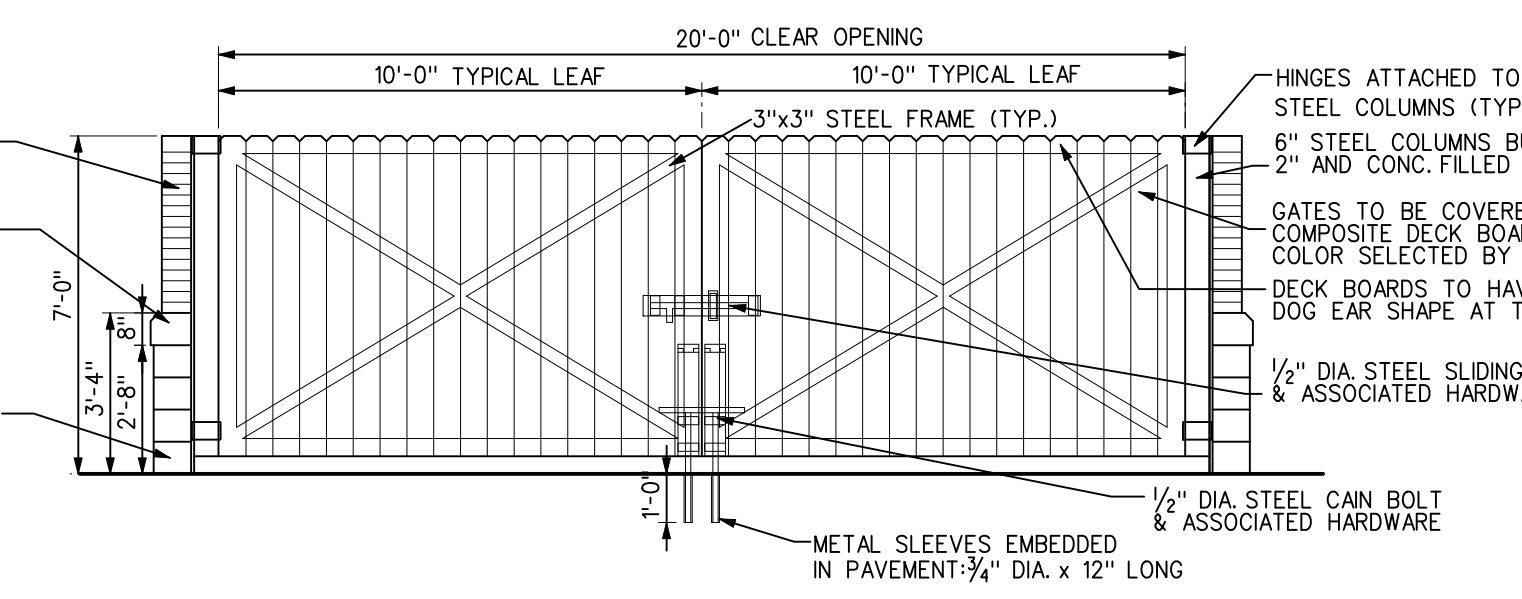
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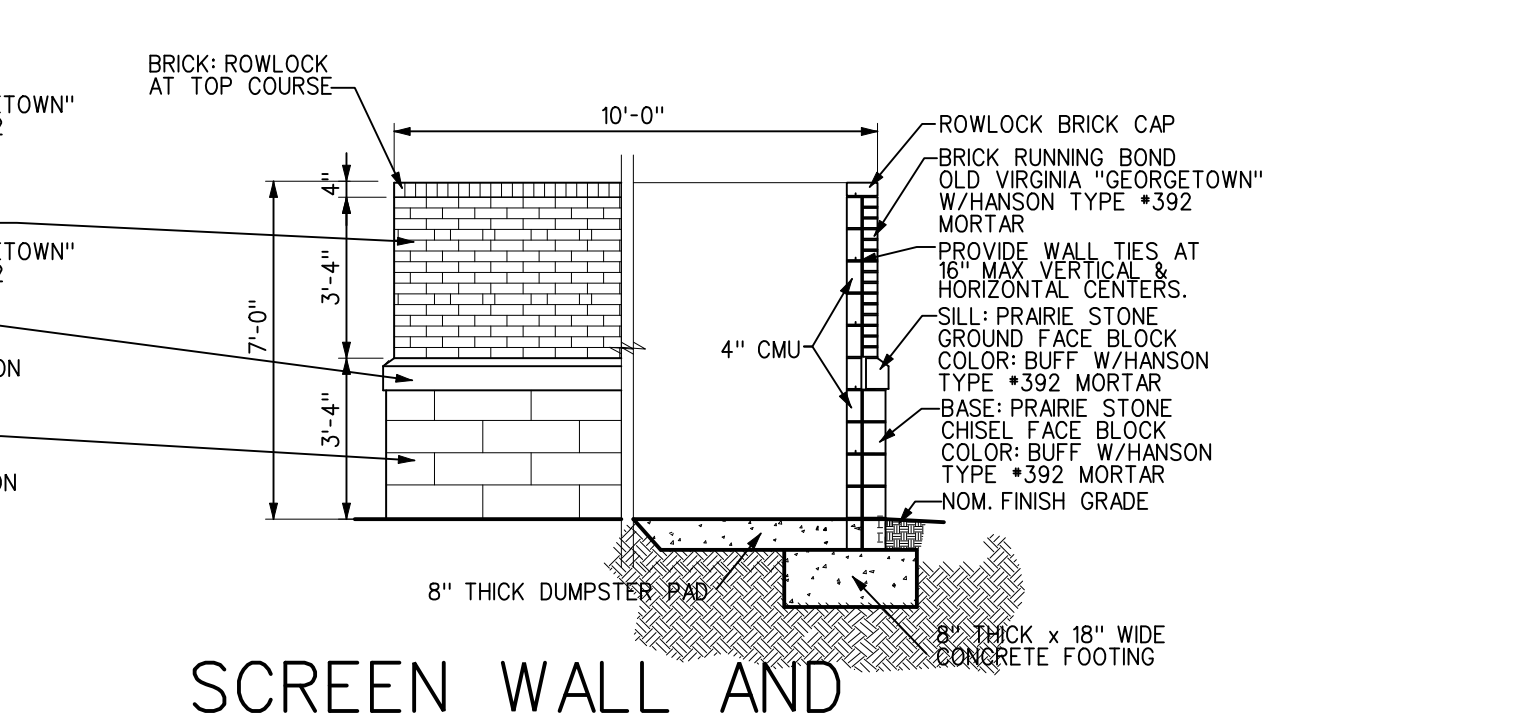
FRONT ELEVATION (EAST ELEVATION)
 1/4"=1'-0"



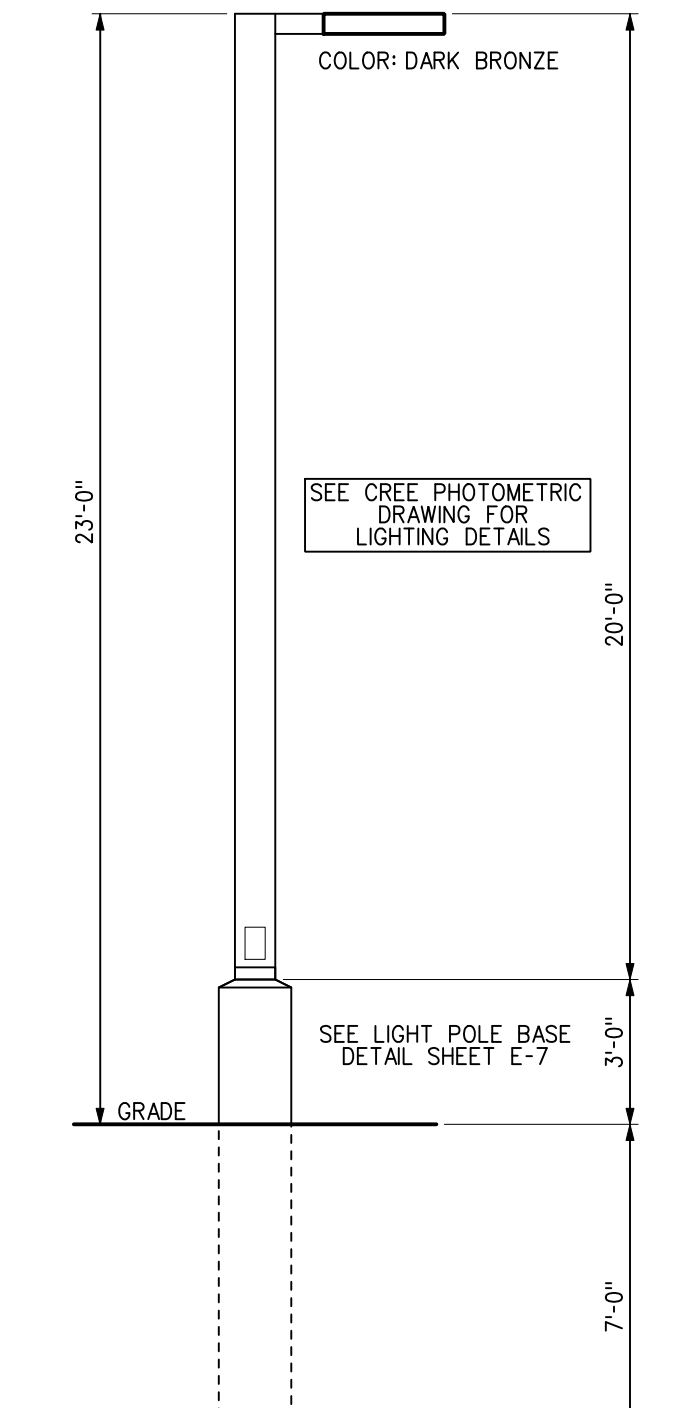
SIDE ELEVATION (NORTH ELEVATION)
 1/4"=1'-0"



DUMPSTER ENCLOSURE: GATE ELEVATION
 1/4"=1'-0"



SCREEN WALL AND DUMPSTER ENCLOSURE ELEVATION/SECTION
 1/4"=1'-0"

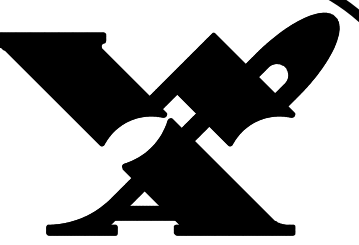


LIGHT POLE DETAIL
 1/4"=1'-0"

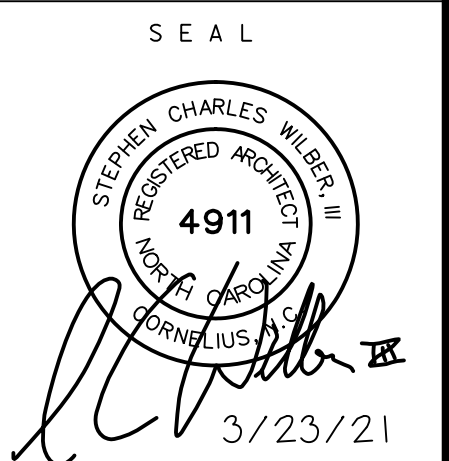
NEW CONVENIENCE STORE FOR
THE MILLS BP
 1002 HOLDEN AVENUE, SW
 CONCORD, NC

ELEVATIONS

| | |
|-----------|---------|
| COMM. NO. | 1952 |
| DATE | 3/23/21 |
| REVISIONS | |

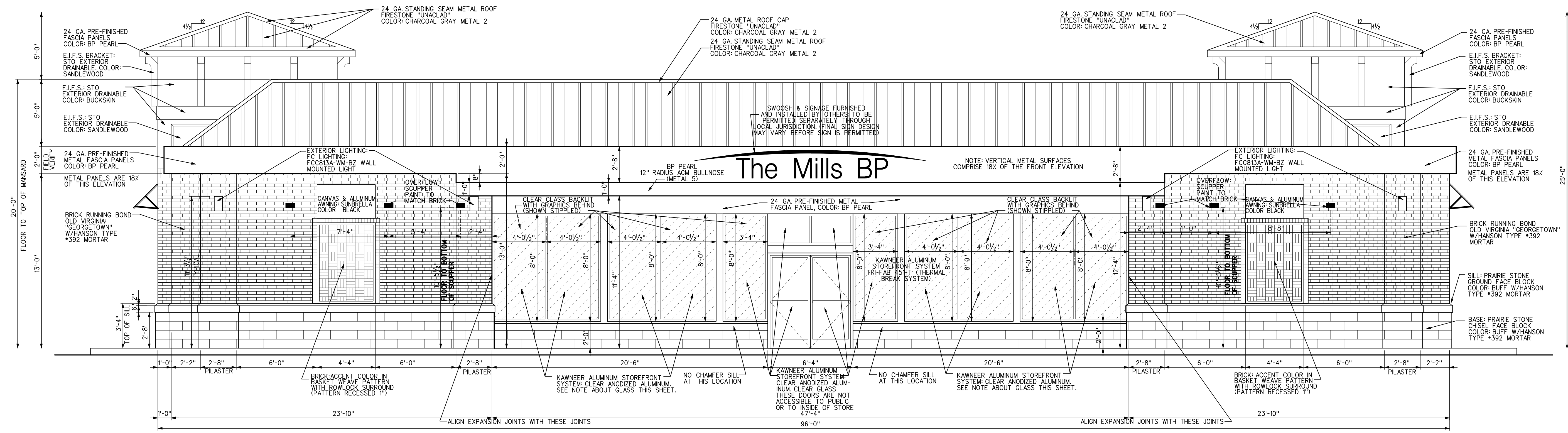


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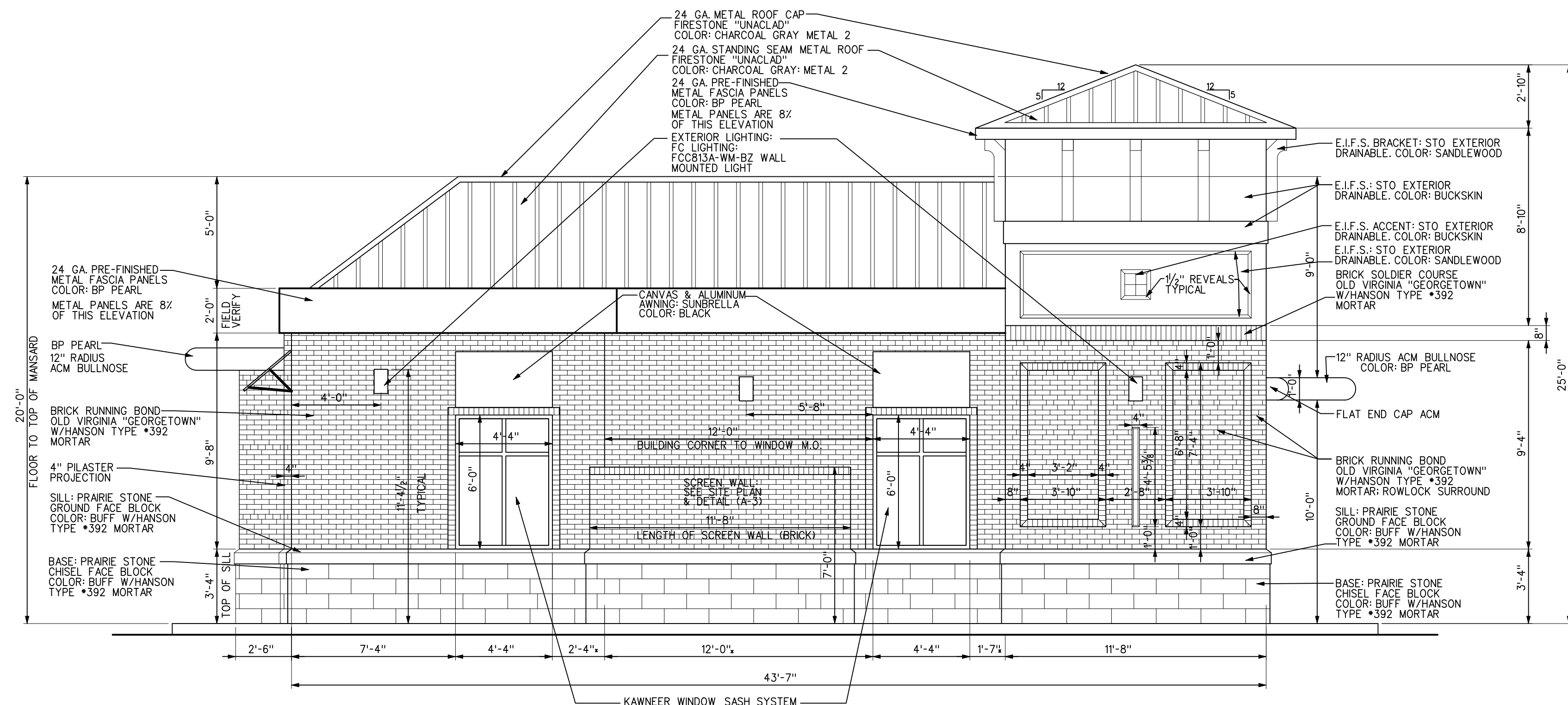


TITLE

NEW CONVENIENCE STORE FOR
THE MILLS BP
 1002 HOLDEN AVENUE, SW
 CONCORD, NC



REAR ELEVATION (WEST ELEVATION)
 1/4" = 1'-0"



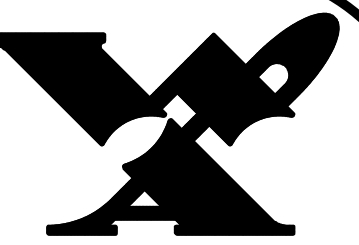
SIDE ELEVATION (SOUTH ELEVATION)
 1/4" = 1'-0"

| EXTERIOR FINISH SCHEDULE | | | |
|---|---|---|--|
| MATERIAL | MANUFACTURER | COLOR | REMARKS |
| BR-1 BRICK 1 | OLD VIRGINIA | OLD GEORGETOWN-MODULAR | |
| BRICK 1 MORTAR | HANSON (FORTERRA) | HANSON 392 | TO BE VERIFIED BY OWNER |
| PS-1 PRAIRIE STONE SILL | TRENWYTH BY NORTHFIELD | BUFF (GROUND FACE) | GROUND FACE TEXTURE |
| PS-1 MORTAR | HANSON (FORTERRA) | HANSON 392 | TO BE VERIFIED BY OWNER |
| PS-2 PRAIRIE STONE BASE | TRENWYTH BY NORTHFIELD | BUFF (CHSEL FACE) | CHSEL FACE TEXTURE |
| PS-2 MORTAR | HANSON (FORTERRA) | HANSON 392 | TO BE VERIFIED BY OWNER |
| E.I.F.S./STUCCO 1 | STO | BUCKSKIN | MEDIUM TEXTURE |
| E.I.F.S./STUCCO 2 | STO | SANDLEWOOD | SMOOTH TEXTURE |
| ALUMINUM STOREFRONT SYSTEM | KAWNEER | CLEAR ANODIZED ALUMINUM | |
| METAL 2" STANDING SEAM METAL ROOF | BERRIDGE 24 GA. | CHARCOAL GRAY | |
| METAL 4" PRE-FINISHED BUILDING FASCIA | ACM | BP PEARL | |
| METAL 5" PRE-FINISHED CANTILEVERED OVERHANG | ACM | BP PEARL | |
| WINDOW SASH SYSTEM | KAWNEER | CLEAR ANODIZED ALUMINUM | |
| DECORATIVE LIGHT FIXTURE | FC LIGHTING | BRONZE | FCCB13A-WM-BZ WALL MOUNT |
| CANOPY FASCIA: PREFINISHED | ACM | "BP WHITE" WITH "BP GREEN" METAL BULLNOSE | |
| CANOPY COLUMNS | TO MATCH BUILDING BRICK & PRAIRIE STONE | | |
| AREA LIGHT FIXTURE | CREE | DARK BRONZE | 20' POLE, 3' BASE; 23' TOTAL HEIGHT SEE CREE PHOTOMETRIC DRAWINGS FOR LIGHTING DETAILS |

ELEVATIONS

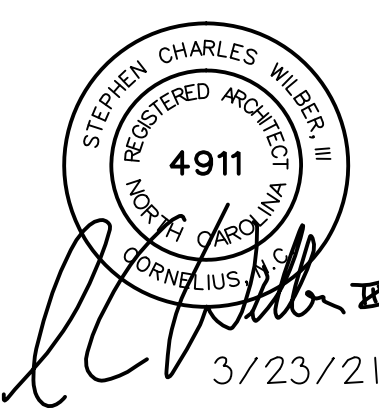
COMM. NO. 1952
 DATE 3/23/21
 REVISIONS

SHEET
A-4
 OF 14



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SEAL



TITLE

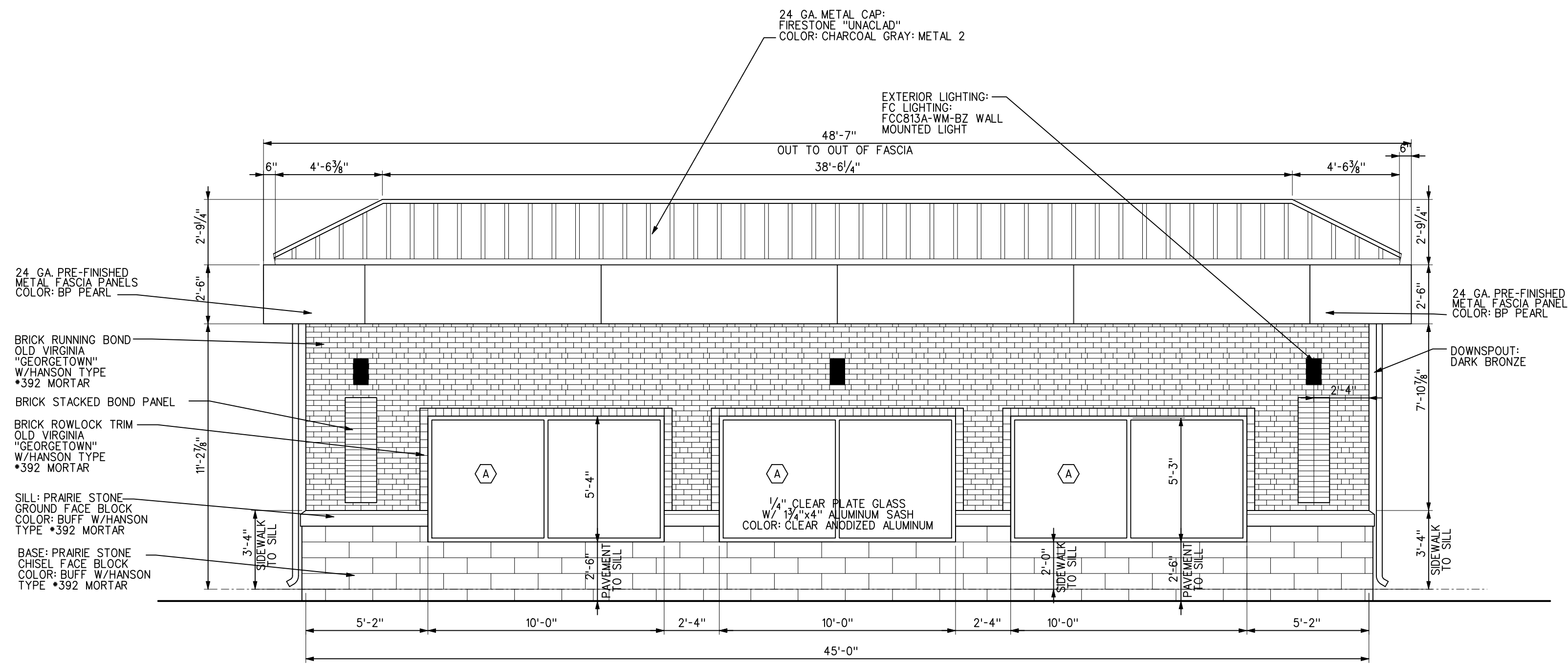
NEW CONVENIENCE STORE FOR
THE MILLS BP
 1002 HOLDEN AVENUE, SW
 CONCORD, NC

CARWASH ELEVATIONS

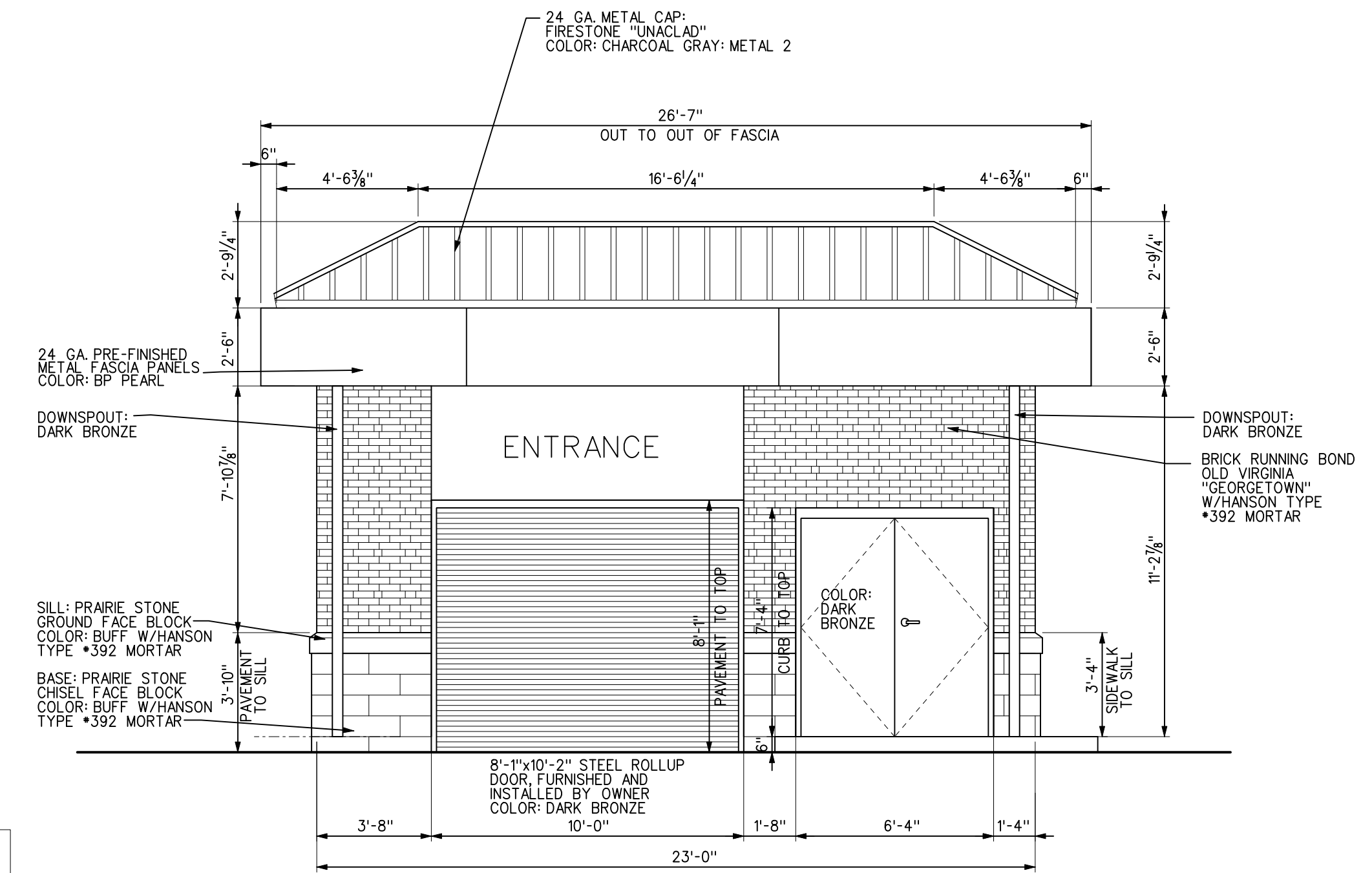
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 DATE 3/23/21
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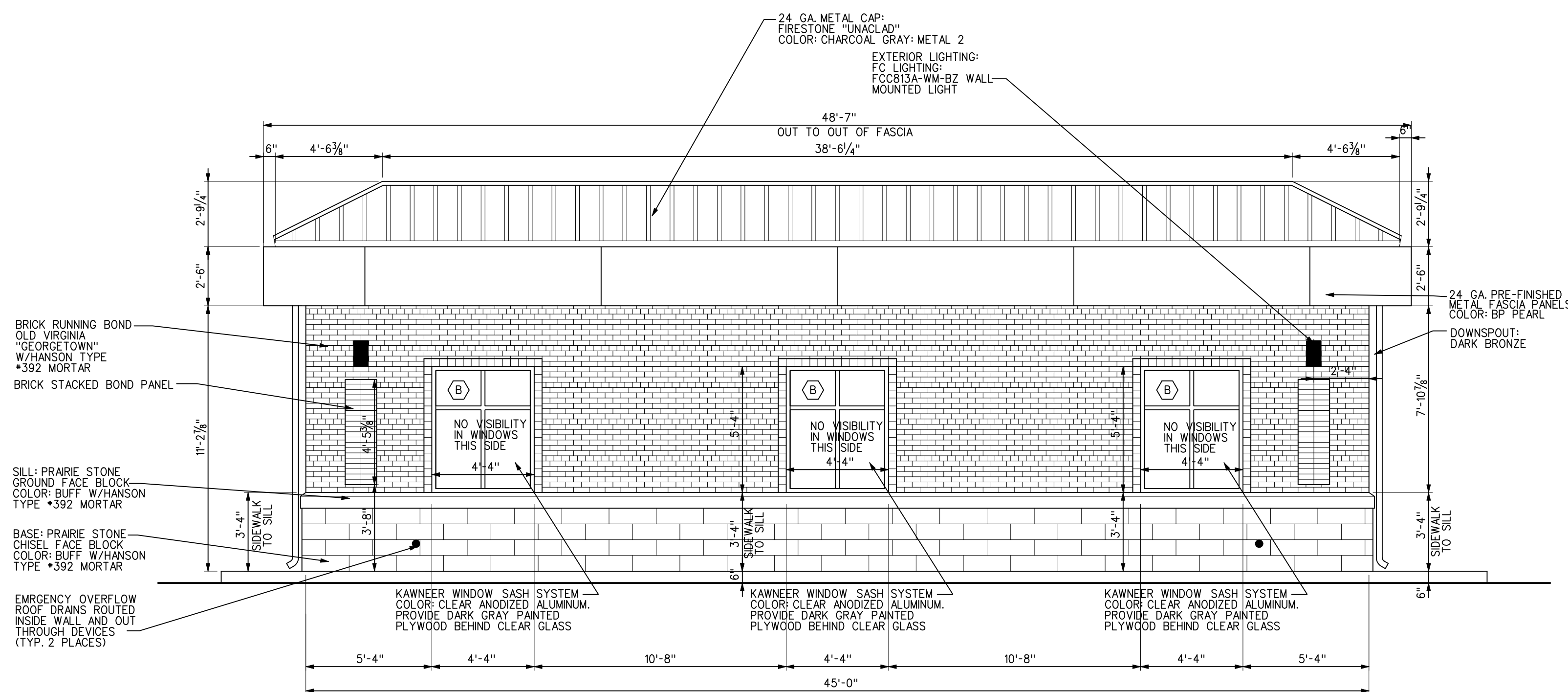
A-12
 OF
 14



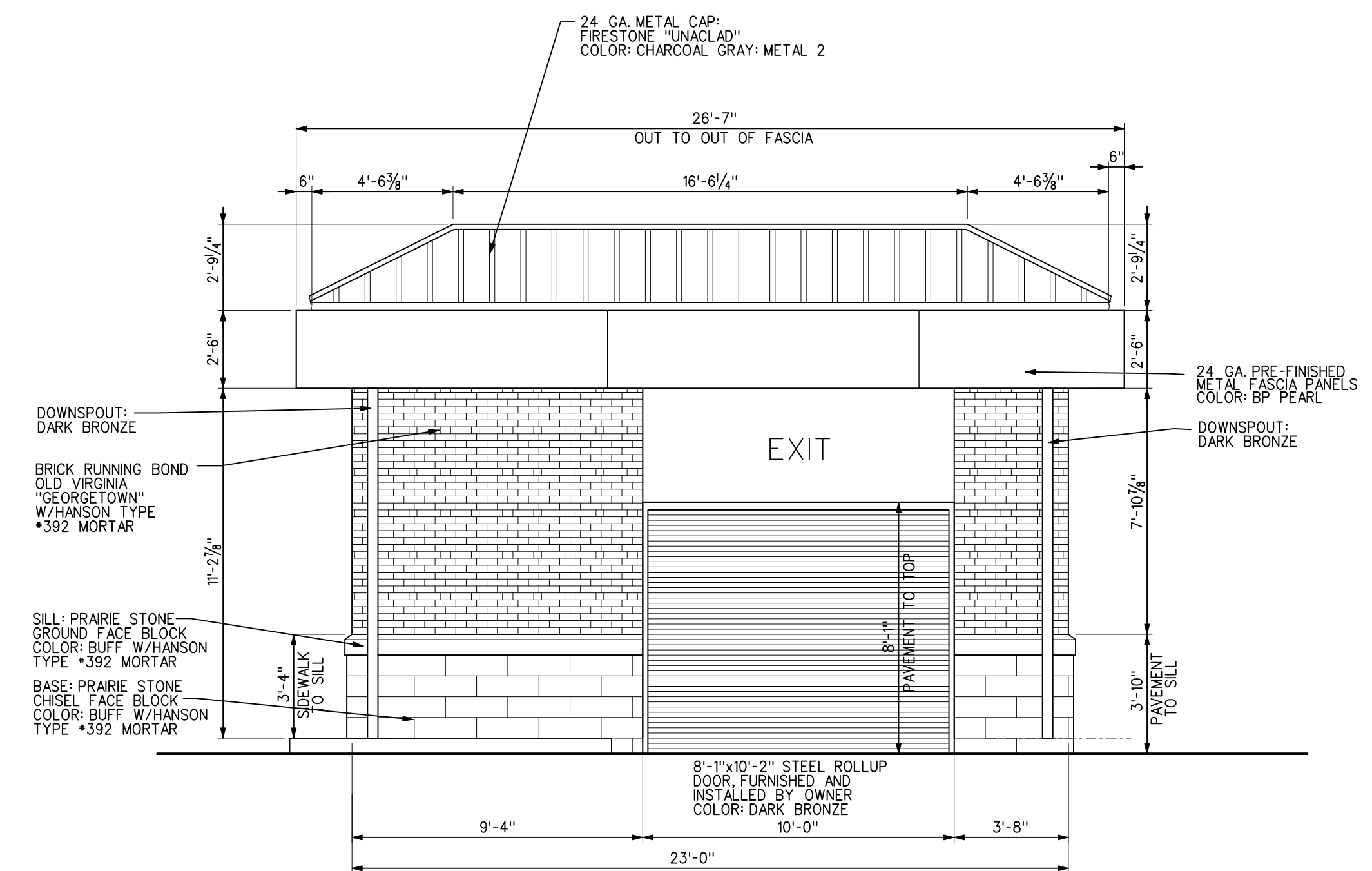
SIDE ELEVATION (North)
 1/4"=1'-0"



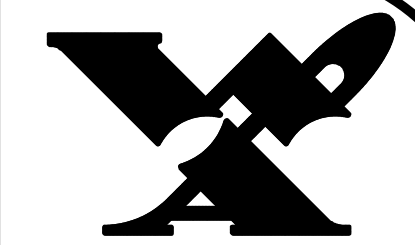
END ELEVATION (West)
 1/4"=1'-0"



SIDE ELEVATION (South)
 1/4"=1'-0"



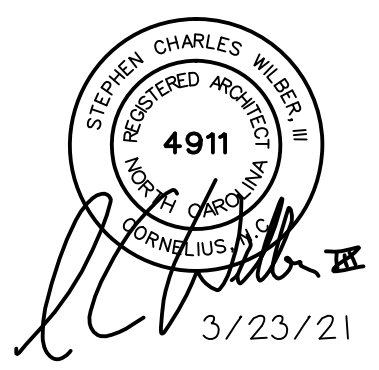
END ELEVATION (East)
 1/4"=1'-0"



Wilber Associates
 Architecture / Planning
 P.O. Box 428 - 20044 N. Zion St.
 Cornelius, N.C. 28031
 704-892-3633

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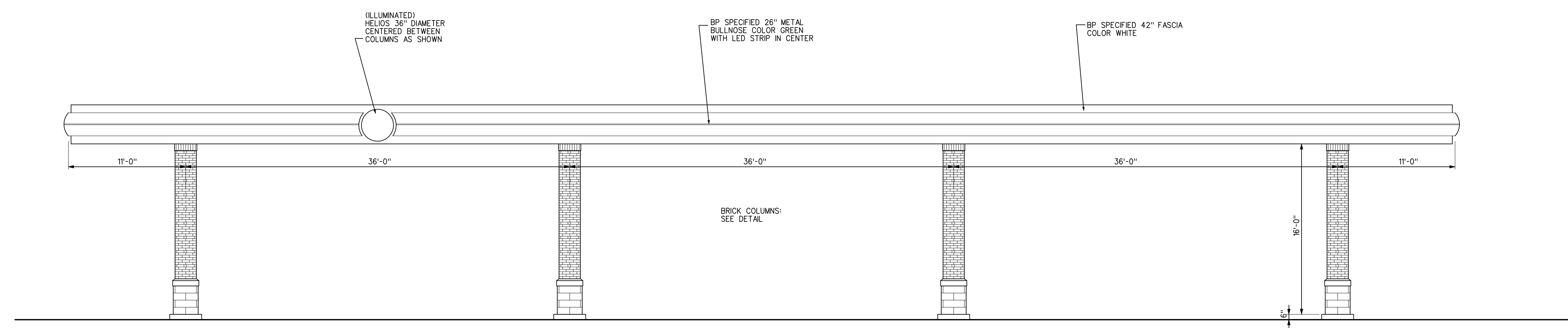
TITLE

NEW CONVENIENCE STORE FOR
THE MILLS BP
 1002 HOLDEN AVENUE, SW
 CONCORD, NC

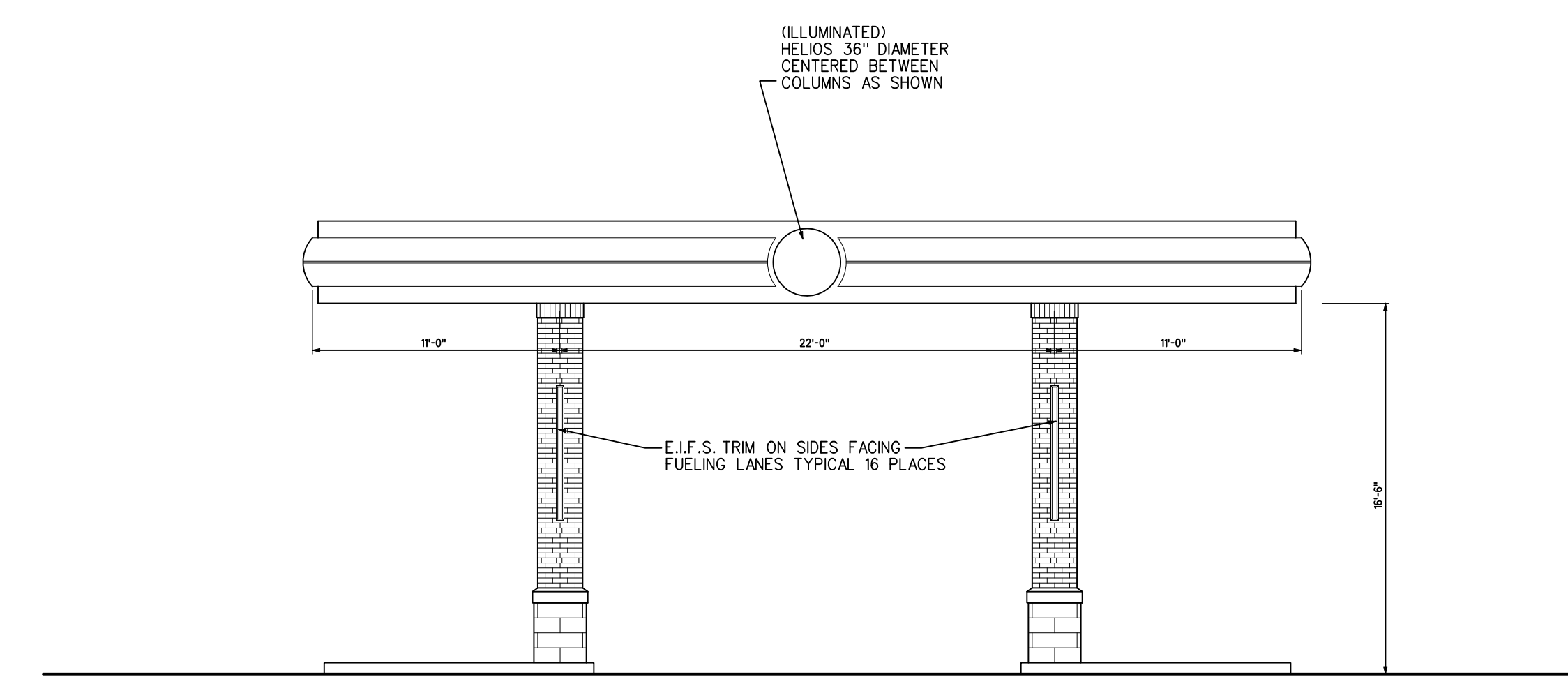
CANOPY
 ELEVATIONS

COMM. NO. 1952
 DATE 3/23/21
 REVISIONS

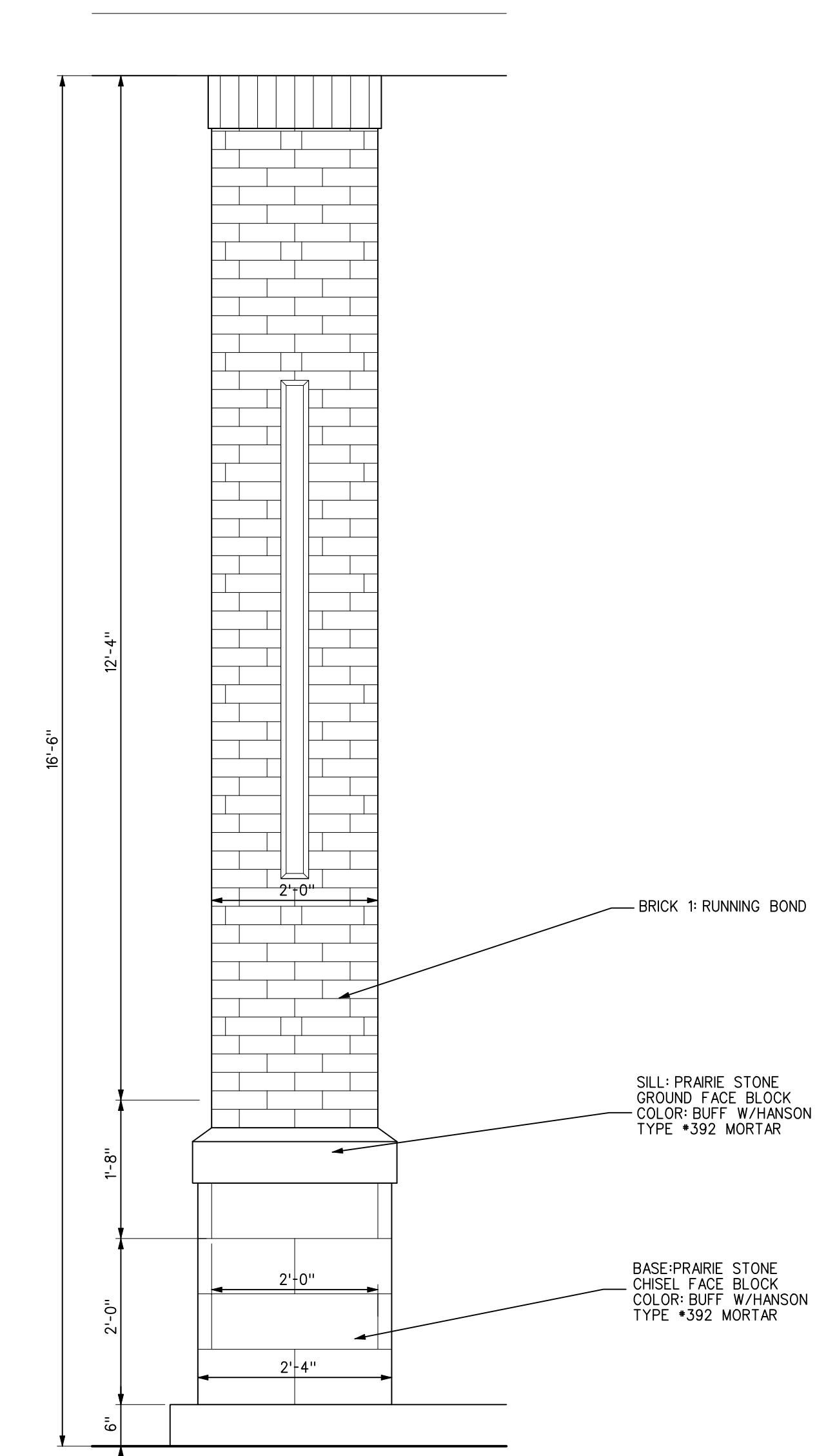
SHEET
A-14
 OF
 14



REAR ELEVATION
 $\frac{3}{16}''=1'-0''$



SIDE ELEVATION
 $\frac{3}{16}''=1'-0''$



COLUMN DETAIL
 $\frac{3}{4}''=1'-0''$

Non-Residential

Villas at Rocky River (PRS2021-00151)

1054 Drake Mill Ln

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|-------------------------|----------------------|
| 1/15/2021 | 11/23/2021 | 5 Commercial Outparcels | Yes 11/23/21 |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|-------|-------|------|------|
| 16450 | 16450 | | |

| Office | Small Area Plan | Part of Approved Mixed Use | Annexation (Not ED) | Logistics/Distribution | Total |
|--------|-----------------|----------------------------|---------------------|------------------------|-------|
| 0 | 0 | 1 | 0 | 0 | 1 |

Brief Summary

This site plan is for 5 commercial outparcels. Preliminary plat approved 10/26/21. Zoning case Z(CD)06-20 amended the density entitlements for the site February 18, 2021 that had previously been in place since 2005/2006.

Outstanding Items

This project, along with the BP-Mills at Rocky River, and Mills at Rocky River Townhomes are also working on roadway improvements along Holden Ave and Holden Ave at Griffin's Gate that will include the installation of a roundabout and additional turning motions. The roadway improvements have been approved for construction. The BP-Mills at Rocky River is dependent on the non-residential portion of the Villas at Rocky River for stormwater control.

*Outparcel use is unknown. Office is possible.

Villas at Rocky River Commercial

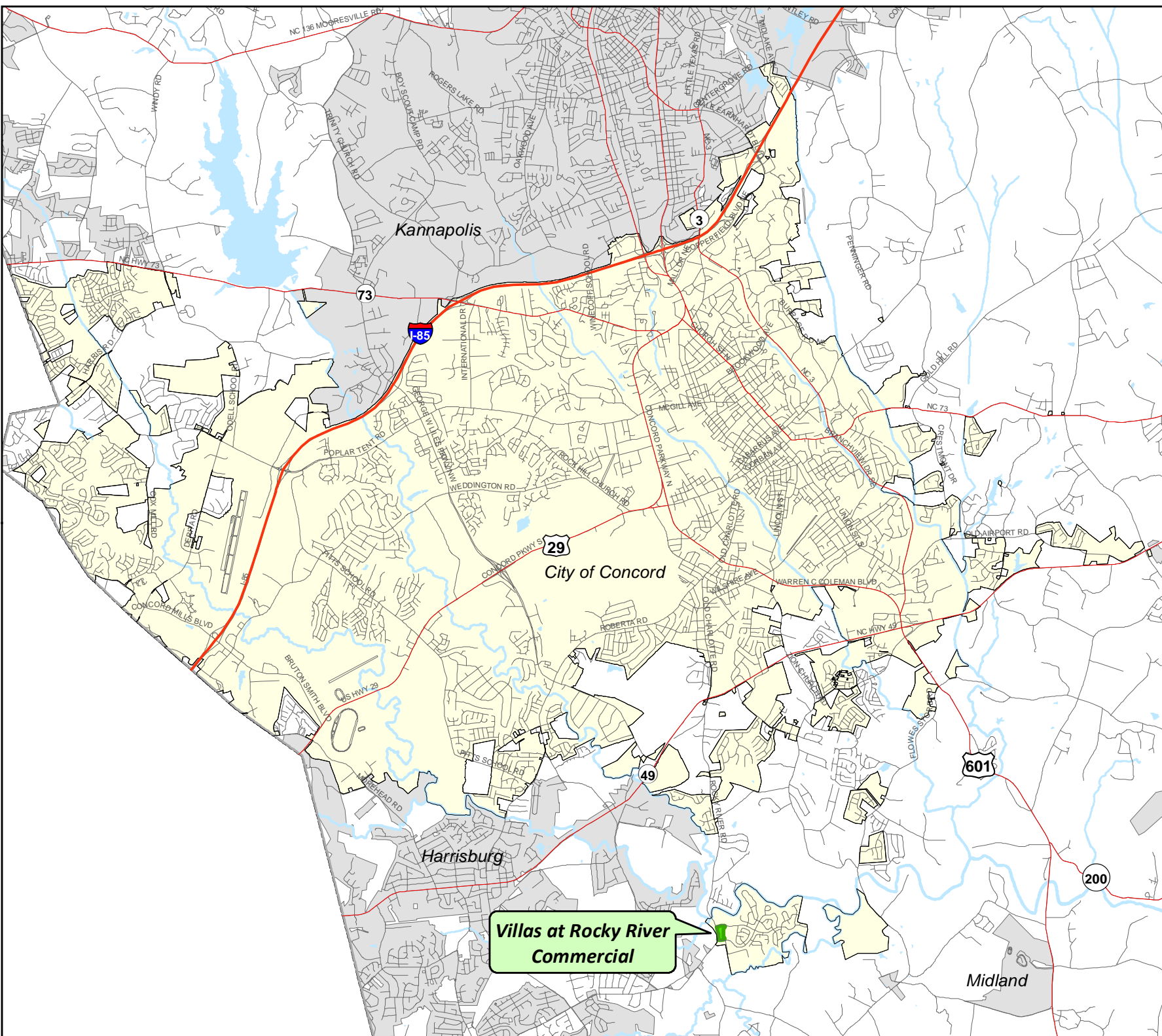
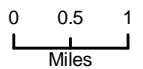
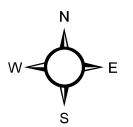
(PRS2021-00151)

5 Commercial Outparcels

Allocation Request: 16,450

Project Scoring: 2

- Villas at Rocky River
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.





PRELIMINARY WASTEWATER FLOW APPLICATION

INSTRUCTIONS FOR FORM: PWWF-2021

The City of Concord Preliminary Wastewater Flow Application is to be completed for any residential, commercial, and/or industrial site development projects requiring a permit based upon 15A NCAC Subchapter 2T rules and the Water and Sewer Authority of Cabarrus County sewer allocation and commitment policy.

A DIGITAL COPY OF THE COMPLETED APPLICATION PACKAGE, SUPPORTING INFORMATION AND MATERIALS, SHOULD BE UPLOADED TO ACCELA ONLINE PORTAL IN THE APPLICABLE ACCELA CASE AT <https://accela1.cabarruscounty.us/CitizenAccess/> , UNLESS OTHERWISE SPECIFIED.

SUPPORTING INFORMATION AT A MINIMUM NEEDS TO INCLUDE A PROJECT NARRATIVE.

The narrative should include any and all information the applicant wants City Council to consider when evaluating the project for flow allocation. In general, the narrative should be a description of the project, including project data (zoning, number of lots, type of housing or business), price points for homes or investment for business, and any sustainability components of the plan (ie walking trails, water conservation, green building practices, operational aspects of business such as waste reduction, recycling, etc).

| | |
|--|--|
| <p><u>For Accela Case Inquiries, Contact:</u></p> <p>CITY OF CONCORD Planning & Neighborhood Development- Zoning Services Post Office Box 308 Concord, North Carolina 28026-0308 Telephone Number: (704) 920-5152</p> | <p><u>For Engineering Design Inquiries, Contact:</u></p> <p>CITY OF CONCORD Engineering Department Post Office Box 308 Concord, North Carolina 28026-0308 Telephone Number: (704) 920-5425</p> |
|--|--|



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

| | |
|---|--|
| TO BE COMPLETED BY THE CITY OF CONCORD | |
| Planning Case No: | |
| Engineering Project No: | |
| ATC No: | |

| | | | | | | |
|-------------------------------|------|---|--|------|--|------------------|
| A. Project Information | 1.) | Project Title: | The Villas at Rocky River | | | |
| | 2.) | Description of project location: | Site located on Holden Avenue 500-ft East of intersection of Rocky River Road and Holden Avenue. <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small> | | | |
| | 3.) | Cabarrus County Parcel Identification Number: | 55275218310000 | 3a.) | Parcel Acreage: | 23.08+/- |
| | 4.) | Site Zoning and use: | PUD/Mixed-Use | 5.) | Area Commercial or Industrial Building | (sq. ft.) 44,447 |
| | 6a.) | Description of Facility to be served: | MF/Commercial | 6b.) | Number of Lots | |
| | 6c.) | | | 6c.) | Number of Units | 272 |
| | 7d.) | Additional description information: | 272 Apartments and 44, | | | |

| | | |
|--|---|--|
| B. Applicant Information | Thomas Holderby Member <small>(Title)</small> | 1034 Finnwood Drive |
| | <small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small> | <small>(Applicant's Street or Box Number)</small> |
| | Villas at Rocky River, LLC | Whitsett, NC 27377 |
| | <small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small> | <small>(Applicant's City, State, Zip Code)</small> |
| | (336) 449-4906 | N/A |
| | <small>(Applicant's Phone Number)</small> | <small>(Applicant's Facsimile Number)</small> |
| | Nicholas R. Parker <small>(Name)</small> nrparker@amicuseng.com <small>(Email)</small> | ttommy27320@yahoo.com |
| <small>(Name with Title and Email of contact person, who can answer questions about application)</small> | <small>(Applicant's Email Address)</small> | |
| REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner. | | |

| | | |
|---|---|--|
| C. Design Engineer Information if available | Nicholas R. Parker | Amicus Partner, PLLC |
| | <small>(Typed name of North Carolina Professional Engineer)</small> | <small>(Company Name)</small> |
| | 032006 | 30 Union Street South |
| | <small>(NCPE Registration Number)</small> | <small>(Street or Box Number)</small> |
| | (704) 573-1621 | Concord, NC 28025 |
| | <small>(Phone Number)</small> | <small>(City, State, Zip Code)</small> |
| Nicholas R. Parker - Engineer | nrparker@amicuseng.com | |
| <small>(Name and affiliation of contact person, who can answer questions about application & designs)</small> | <small>(Engineer's Email Address)</small> | |

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

| | | | |
|-------------------------------------|--|-------------------------------------|-----------------------------------|
| <input type="checkbox"/> | Residential Subdivision | <input type="checkbox"/> | Retail (Stores, shopping centers) |
| <input checked="" type="checkbox"/> | Apartments/Condominiums | <input type="checkbox"/> | Institution |
| <input type="checkbox"/> | Mobile Home Park | <input type="checkbox"/> | Hospital, nursing home, dental |
| <input checked="" type="checkbox"/> | School, preschool, daycare | <input type="checkbox"/> | Church |
| <input checked="" type="checkbox"/> | Restaurants (Food or drink facilities) | <input type="checkbox"/> | Sports Centers |
| <input type="checkbox"/> | Hotels or motels | <input checked="" type="checkbox"/> | Business, offices, factories |
| <input type="checkbox"/> | Other (specify): _____ | | |

2.) The type of wastewater is (indicate percentage):

| | |
|----|-----------------------------|
| 74 | % Domestic |
| 26 | % Commercial |
| | % Industrial |
| | % Other use (Specify) _____ |

3.) Pretreatment required:

No
 Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 46,850 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

[Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.]

| Established Type (See 02T.0114(f)) | Daily Design Flow (a, b) | No. of Units | Flow |
|------------------------------------|-------------------------------|--------------|-------------------|
| 1 bedroom unit | 160 gal/ day/unit | 48 | GPD 7,680 |
| 2 bedroom unit | 160 gal/ day/unit | 188 | GPD 30,080 |
| 3 bedroom unit | 240 gal/ day/unit | 36 | GPD 8,640 |
| Day Care | 25 gal/ day/child or employee | 112 | GPD 2,800 |
| Market/Brewery | 40 gal/ day/seat | 295 | GPD 11,800 |
| General Business/Office | 25 gal/ day/employee/shit | 74 | GPD 1,850 |
| | | Total | GPD 62,850 |

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

E. Applicant Acknowledgment

I, Thomas Holderby, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.

Thomas S. Holderby

Signature:

2/3/22

Date:

January 19, 2022

City of Concord Engineering Department
Alfred M. Brown Operations Center
PO Box 308
Concord, NC 28026-0308



Amicus Partners, PLLC

Attn: M. Sue Hyde, PE
Engineering Director

Reference: **Villas at Rocky River**
Project Narrative:

Dear Ms. Hyde:

On behalf of Green Street Land Co., LLC, Amicus Partners, PLLC (Amicus) is pleased to submit preliminary wastewater flow application and project narrative for the Villas at Rocky River Site to the City of Concord's Engineering Department for the purpose of securing flow allocation.

The Villas at Rocky River Site is located between Drake Mill Lane SW and Holden Avenue SW in Concord, NC. The Cabarrus County parcel ID is 55275237690000. The site is 13.55-acres and is currently zoned PUD. The site is an infill development within the original Mills at Rocky River approved masterplan. The Mills at Rocky River Master Planned Community was approved in 2005 for 1,200 units. Of the approved units, 843 have been built and occupied. This specific project consists of 252 proposed multi-family apartments priced at market value with an average monthly rent of \$1,205. The site will have pedestrian connectivity to Patriots Elementary School, C.C. Griffin Middle School, Hector H. Henry II Greenway, and future shops and restaurants to be located at 1054 Drake Mill Lane. The Preliminary Plat for this project was approved on 10/26/2021 (Accela Case # CN-PLP-2021-00010). Full construction documents have been submitted and are pending sewer allocation for final approval (Accela Case # PRS2021-00151). Erosion Control Plans have been approved by the State of North Carolina NCDEQ on January 13, 20201 and an early grading permit has been issued from the City of Concord on November 29. 2021.

If you have any further questions, please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'N. R. Parker'.

Nicholas R. Parker, PE
Manager
Amicus Partners, PLLC



1.19.22

GENERAL SITE PLAN NOTES:

1. ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY. ALL SIGNS MUST MEET THE REQUIREMENTS SET FORTH BY THE CITY OF CONCORD DEVELOPMENT ORDINANCE AND ANY COVENANCE THAT MAY APPLY FOR THE AREA.
2. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3,600 PSI CONCRETE AND SHALL BE 4 INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE 6 INCHES THICK. SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISH AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT INTERVALS OF NOT LESS THAN 5 FEET AND EXPANSION JOINTS AT INTERVALS OF NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF (1/4) INCH PER FOOT.
3. ALL PARKING SPACES SHALL BE 9 FT WIDE AND 18 FT DEEP. SUBGRADE FOR PARKING LOT AND LOADING AREAS TO BE COMPACTED TO 100% MAXIMUM DENSITY OBTAINABLE WITH A STANDARD PROCTOR TEST WITHIN THE UPPER 24" AND 95% MAXIMUM DENSITY BELOW 24". SEE THIS SHEET SHEET FOR PAVEMENT REQUIREMENTS IN LOADING AND PARKING AREAS.
4. ADDRESS MUST BE POSTED IN VISIBLE LOCATION WITH 6-INCH NUMBERS.
5. PER CITY OF CONCORD CDD SECTION 7.10.4 - HVAC AND SIMILAR TYPES OF INCIDENTAL MACHINERY OR EQUIPMENT SHALL BE SCREENED FROM VIEW OR LOCATED IN SUCH A MANNER AS TO NOT BE VISIBLE FROM THE STREET. TRASH RECEPTACLES, DUMPSTERS, UTILITY METERS, ABOVE-GROUND TANKS, SATELLITE DISHES, AND ANTENNAS SHALL BE SIMILARLY SCREENED.
6. ALL MEASUREMENTS ARE TAKEN FROM EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
7. TRASH SHALL BE CONTAINED IN DUMPSTER. DUMPSTER PAD SHALL BE 6" CONCRETE REINFORCED WITH WELDED WIRE FABRIC.
8. ALL DRIVES AND ISLEWAYS SHALL HAVE HEAVY DUTY PAVEMENT. FOR PAVEMENT SPECIFICATIONS, SEE DETAIL ON THIS SHEET.
9. ALL FIBERGLASS MATS FOR THE TRUNCATED DOMES FOR THE ADA RAMPS SHALL BE RED.
10. ALL ELECTRICAL INSTALLATIONS MUST COMPLY WITH THE CITY OF CONCORD'S TECHNICAL STANDARDS MANUAL.
11. REVIEW AND APPROVAL OF THE PLANS DOES NOT RELIEVE THE OWNER, CONTRACTOR, OR DEVELOPER FROM MEETING THE REQUIREMENTS OF THE CITY OF CONCORD'S OR CABARRUS COUNTY ORDINANCES, POLICIES, AND STANDARD SPECIFICATIONS, (AS APPLICABLE), WASTE WATER & SEWER POLICIES AND TECHNICAL SPECIFICATIONS, THE "STANDARD SPECIFICATION FOR WASTEWATER COLLECTION & CONCRETE DISTRIBUTION FOR CABARRUS COUNTY (WSACC MANUAL) AND ANY OTHER LOCAL, STATE, AND FEDERAL REGULATIONS & APPROVALS."
12. RETAINING WALLS, SCREENING WALLS, AND DECORATIVE WALLS WILL BE CONSTRUCTED OF MATERIALS/COLORS CONSISTENT WITH THE PRINCIPLE BUILDING ON SITE. THE GATE WILL BE OPAQUE USING METAL OR SIMILAR MATERIALS.
13. ANY EXTERIOR LIGHTING SHALL BE INSTALLED PRIOR TO CURB AND PAVING (IF APPLICABLE).

ADDITIONAL SITE PLAN AND LAYOUT NOTES:

1. THESE NOTES ARE STANDARD SITE DEVELOPMENT NOTES AND SOME OF THESE NOTES MAY NOT APPLY TO THIS SPECIFIC SITE.
1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
2. ALL ROAD IMPROVEMENTS AT DRAKE MILL LANE AND HOLDEN AVENUE TO BE COORDINATED WITH JURISDICTIONAL INSPECTIONS DEPARTMENT PRIOR TO CONSTRUCTION.
3. DEVELOPER WILL PROVIDE STREET SIGNS (IF REQUIRED) IN CONJUNCTION WITH STATE AND LOCAL REQUIREMENTS.
4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
5. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
6. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
7. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
8. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE LOCAL INSPECTOR.
9. THE PURPOSE OF A STORM DRAINAGE EASEMENT IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
10. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
11. ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF LOCAL FLOODPLAIN REQUIREMENTS AND RESTRICTIONS.
12. ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURE BUILT ON LOT SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS).
13. P.E. SEALED SHOP DRAWINGS FOR ANY RETAINING WALLS MUST BE SUBMITTED TO CITY/COUNTY ENGINEER PRIOR TO CONSTRUCTION.
14. "AS BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY ZONING ORDINANCE.
15. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CONCORD ENGINEER FOR APPROVAL (IF APPLICABLE).
16. PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED (IF APPLICABLE).
17. NON-STANDARD ITEMS (E. PAVED, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND/OR CITY OF CONCORD) BEFORE INSTALLATION.

GENERAL FIRE COMMENTS:

1. THIS JURISDICTION ABIDES BY AND ENFORCES THE REQUIREMENTS OF NFPA 241 FOR CONSTRUCTION PROJECTS. A DOCUMENT WE REFER TO AS AN NFPA 241 LETTER IS REQUIRED VERIFYING THAT ALL PARTIES INVOLVED IN THIS PROJECT KNOW OF AND AGREE, TO ABIDE BY THE PROVISION REQUIRING WATER, HYDRANTS, AND ACCESS ROADS BE IN OPERATION PRIOR TO VERTICAL COMBUSTIBLE CONSTRUCTION.
2. ACCESS AND WATER SUPPLY SHALL BE ESTABLISHED PRIOR TO AND MAINTAINED DURING VERTICAL COMBUSTIBLE CONSTRUCTION. (NFPA 241)
3. NEEDED FIRE FLOW FOR THE STRUCTURE MUST BE PROVIDED AND MAINTAINED.
4. THE SITE ADDRESS SHALL BE POSTED IN A TEMPORARY FORM AND UPON COMPLETION IN A PERMANENT FORM IN A VISIBLE LOCATION IN 6 INCH CHARACTERS IN A REFLECTIVE MATERIAL & CONTRASTING COLOR. (FC 505.1)
5. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY OR BUILDING WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY. A GAP OF 300 FEET OF INACCESSIBLE PERIMETER IS ALLOWED. (FC 503.1.1)
6. ACCESS ROADS TO BUILDING ARE REQUIRED TO BE 20 FEET IN WIDTH FOR BUILDINGS UP TO 30 FEET HIGH AND 26 FEET FOR THOSE OVER 30 FEET. (FC 503.2.1)
7. FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED CLEARANCE OF 13 FOOT 6 INCHES. (FC 503.2.1)
8. THE REQUIRED TURNING RADIUS OF FIRE ACCESS ROADS SHALL BE 42 FOOT RADIUS. (FC 503.2.4)
9. DEAD END ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. (FC 503.2.5)
10. FIRE LANES REQUIRED FOR ACCESS TO THE STRUCTURE ARE REQUIRED TO BE STRIPPED AND MARKED BY SIGNS PROHIBITING PARKING IN AREAS WHERE ACCESS MAY BE BLOCKED. BLOCKAGE TO ACCESS AFTER CONSTRUCTION MAY RESULT IN FUTURE REQUIREMENTS FOR STRIPPING AND SIGNAGE. (CO 6-7) CONTACT CONCORD FIRE MARSHAL'S OFFICE PRIOR TO LANE STRIPPING FOR DETAILS. ALL LANES SHALL BE MARKED IN ACCORDANCE WITH DEPARTMENT SPECIFICATIONS AND APPROVED PRIOR TO INSTALLATION.
11. FIRE HYDRANTS ARE REQUIRED WITHIN 400 FEET OF ANY AREA OF THE PERIMETER OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING. (C-1)
12. FIRE HYDRANTS - PUBLIC HYDRANTS SHALL BE PAINTED YELLOW AND PRIVATE HYDRANTS SHALL BE PAINTED RED. ALL NEW HYDRANTS SHALL BE EQUIPPED WITH A 5" STORZ FITTING.
13. FIRE DEPARTMENT CONNECTIONS (FDC) SHALL BE PROVIDED FOR SPRINKLER SYSTEMS AND BE REMOTE FROM THE BUILDING WITH SIGNAGE. (FC 912.1)
14. FIRE HYDRANTS ARE REQUIRED WITHIN 200 FEET OF THE LOCATION OF THE FDC.
15. STRUCTURES UNDER CONSTRUCTION ARE REQUIRED TO HAVE TEMPORARY FIRE EXTINGUISHERS ON SITE DURING CONSTRUCTION.
16. BUILDINGS EXCEEDING THREE STORIES OR 30 FEET IN HEIGHT SHALL HAVE AT LEAST TWO MEANS OF FIRE APPARATUS ACCESS FOR EACH STRUCTURE. (FC D105.1 & D105.2)
17. BUILDINGS EXCEEDING 62,000 S.F. WITHOUT SPRINKLERS OR 124,000 S.F. WITH SPRINKLERS SHALL HAVE TWO ACCESS ROADS PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE PROPERTY OR AREA TO BE SERVED, MEASURED IN A STRAIGHT LINE BETWEEN ACCESSES. (FC D104.2 & D104.3)
18. PLEASE SEE CONCORD FIRE & LIFE SAFETY WEB PAGE FOR DETAILS AND SPECIFICATIONS (HTTP://WWW.CONCORDNC.GOV/DEPARTMENTS/FIRE/FIRE-PREVENTION-DIVISION/FIRE-PREVENTION-DIVISION-DOWNLOADS).

PARKING CHART

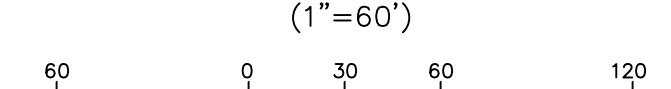
| Lot or Parking Area | Total # of Parking Spaces | | # of Accessible Spaces Provided | | Total = Accessible Provided |
|---------------------|---------------------------|----------|---------------------------------|------------------------------|-----------------------------|
| | Required | Provided | Regular with 5' Access Aisle | Regular with 8' Access Aisle | |
| Multi-Family | 378 | 378 | 0 | 13 | 26 |

1. Required number of parking spaces based on City of Concord Unified Development Ordinance - Article 10.
2. Multi-Family: Minimum (1.5 spaces per unit) x (252 units) = 378 spaces. Maximum (2.5 spaces per unit) x (252 units) = 630 spaces.
3. Required number of bicycle parking spaces based on City of Concord Unified Development Ordinance - Article 10.
4. Multi-Family: Minimum (1 space per 5 units) x (252 units) = 51 spaces. Provided = 55 spaces, therefore o.k.

BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 811.

IT'S THE LAW. STOP

GRAPHIC SCALE (1"=60')



LEGEND:

- - - - - SUBJECT BOUNDARY
- - - - - ADJACENT PARCEL
- - - - - PROPOSED LOT LINE
- - - - - EXISTING RIGHT OF WAY / PROPOSED RIGHT OF WAY
- - - - - PROPOSED UTILITIES EASEMENT

CENTERLINE CURVE TABLE

| CURVE | LENGTH | RADIUS | BEARING |
|-------|---------|---------|-------------|
| C1 | 57.13' | 150.00' | N68°10'35"E |
| C2 | 63.67' | 150.00' | N65°40'45"E |
| C3 | 24.77' | 150.00' | N65°40'45"E |
| C4 | 99.92' | 150.00' | N51°49'54"E |
| C5 | 57.34' | 150.00' | N68°05'56"E |
| C6 | 101.09' | 82.50' | N19°47'34"E |
| C7 | 61.18' | 149.00' | N66°28'24"E |
| C8 | 58.37' | 99.00' | N56°13'04"E |
| C9 | 34.54' | 100.00' | N70°12'26"E |
| C10 | 126.92' | 300.00' | N65°21'15"E |
| C11 | 70.69' | 45.00' | North |

CENTERLINE LINE TABLE

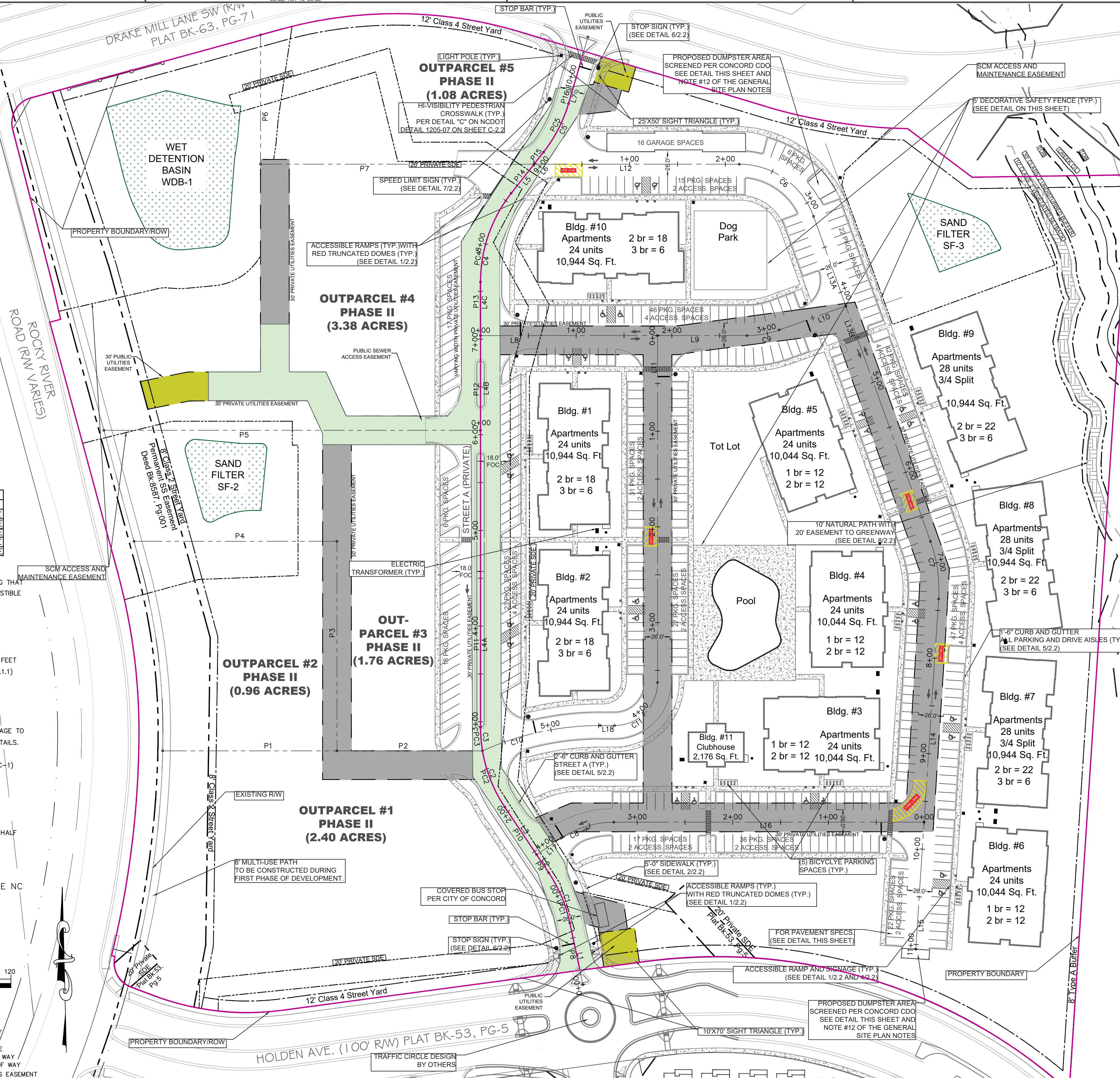
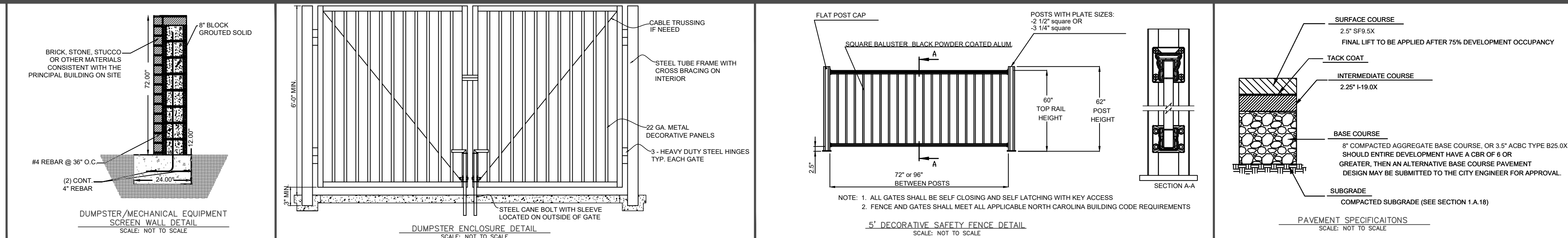
| LINE | LENGTH | BEARING |
|------|---------|-------------|
| L1 | 66.02' | N11°57'32"W |
| L2 | 22.83' | N33°46'56"W |
| L3 | 59.86' | N33°46'56"W |
| L4A | 310.36' | North |
| L4B | 99.03' | North |
| L4C | 56.08' | North |
| L5 | 38.67' | N38°10'06"E |
| L6 | 16.15' | N38°10'06"E |
| L7 | 72.49' | N16°16'02"E |
| L8 | 185.09' | East |
| L9 | 93.34' | East |
| L10 | 73.96' | N70°12'26"E |
| L11 | 362.62' | South |
| L12 | 214.58' | East |
| L13A | 99.54' | S19°47'34"E |
| L13B | 261.55' | S19°47'34"E |
| L14 | 233.81' | S03°44'03"W |
| L15 | 133.03' | S03°44'03"W |
| L16 | 324.31' | West |
| L17 | 30.96' | S56°13'04"W |
| L18 | 14.88' | West |

OUTPARCEL PROPERTY LINE TABLE

| LINE | LENGTH | BEARING |
|------|---------|-------------|
| P1 | 182.22' | East |
| P2 | 152.13' | East |
| P3 | 219.04' | North |
| P4 | 212.21' | West |
| P5 | 393.75' | East |
| P6 | 135.12' | South |
| P7 | 285.98' | East |
| P8 | 50.75' | N11°57'32"W |
| P9 | 22.83' | N33°46'56"W |
| P10 | 59.86' | N33°46'56"W |
| P11 | 310.36' | North |
| P12 | 99.03' | North |
| P13 | 56.08' | North |
| P14 | 38.67' | N38°10'06"E |
| P15 | 16.15' | N38°10'06"E |
| P16 | 56.99' | N16°16'02"E |

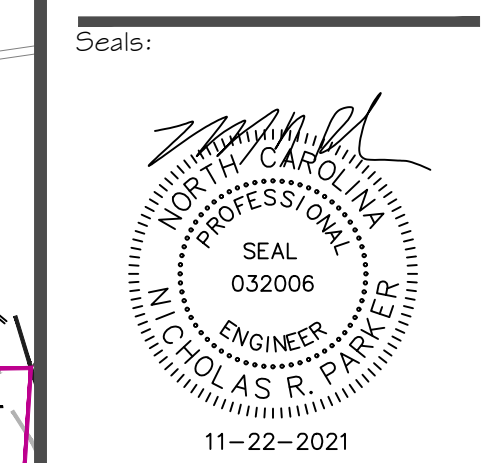
OUTPARCEL PROPERTY CURVE TABLE

| CURVE | LENGTH | RADIUS | BEARING |
|-------|--------|---------|-------------|
| PC1 | 57.13' | 150.00' | N68°10'35"E |
| PC2 | 63.67' | 150.00' | N65°40'45"E |
| PC3 | 24.77' | 150.00' | N65°40'45"E |
| PC4 | 99.92' | 150.00' | N51°49'54"E |
| PC5 | 57.34' | 150.00' | N68°05'56"E |



Firm License # P-191
30 Union Street South
Concord, NC 28025

Civil Site Design
Low Impact Development
Small-Scale Building Design
Telephone: 704.573.1621
Facsimile: 704.248.7951



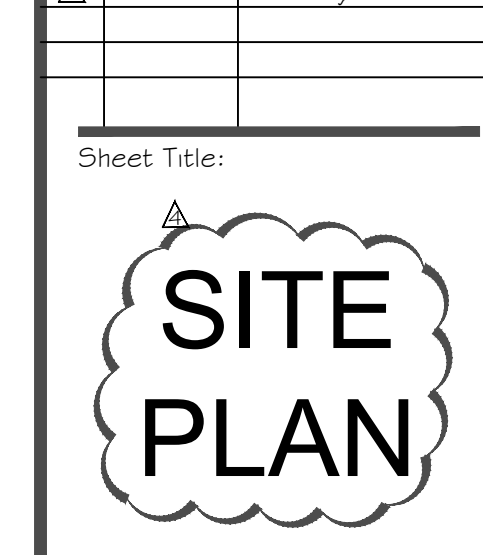
Seals:
11-22-2021

FOR THE VILLAS AT ROCKY RIVER LLC
1034 FINWOOD DRIVE
WHITSETT, NORTH CAROLINA 27377

Project Number: 17-20-054
Date: 11-22-2021
Drawn By: JLM
Checked By: NRP

Revisions:

| Rev | Date | Description |
|-----|------------|---------------------|
| 1 | 11-04-2020 | Original Submittal |
| 2 | 11-23-2020 | Per NCDEQ |
| 3 | 05-26-2021 | Per City of Concord |
| 4 | 08-05-2021 | Per City of Concord |
| 5 | 11-22-2021 | Per City of Concord |



Sheet No: C-2.0

Nonresidential

Christenbury Village (PRS2021-00713)

9620 Christenbury Pkwy

| First Submittal | Last Submittal | Units | Technically Approved |
|------------------------|-----------------------|---|-----------------------------|
| 3/4/21 | 11/29/21 | Infrastructure for 135,000 sf of commercial uses within mixed use project | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|--------------|-------------|-------------|-------------|
| 12064 | 12064 | | |

| Office | Small Area Plan | Part of Approved Mixed Use | Annexation (Not ED) | Logistics/Distribution | Total |
|---------------|------------------------|-----------------------------------|----------------------------|-------------------------------|--------------|
| 0 | 0 | 1 | 0 | 0 | 1 |

Brief Summary

This request is associated with the commercial outparcels and Lowe’s Foods. Overall, there is an approximately 132,600 square foot mixed-use development on Christenbury Pkwy. This consists of 3 commercial buildings, two mixed use buildings, and a Lowes Foods Grocery Store. The property was voluntarily annexed in February 2005. The PUD Z(CD) 27-04 was amended in 2005 and 2009. After an unsuccessful attempt to modify the zoning via Z(CD) 15-17, denied by the Planning and Zoning Commission on May 30, 2018, and denied by City Council on July 12, 2018. The applicants then proceeded to move forward under the existing entitlements, after said entitlements were subject to a Board of Adjustment hearing on interpretation on December 6, 2018. A site plan was reviewed and adopted by the Planning and Zoning Commission on August 18, 2020, and amended by the Planning and Zoning Commission on February 19, 2021, to include the incorporation of a grocery store. The preliminary plat for the entire site was approved on August 11,2021.

PRS2021-00713 is the case for infrastructure improvements associated with the entire site. PRS2021-03653 is the case for the Lowe’s Foods Grocery Store.

*Outparcel use has not been identified. Office as a component is very likely.

Outstanding Items

There are 25 outstanding comments on the infrastructure improvements, including the outstanding NCDOT driveway permit and other technical requirements.

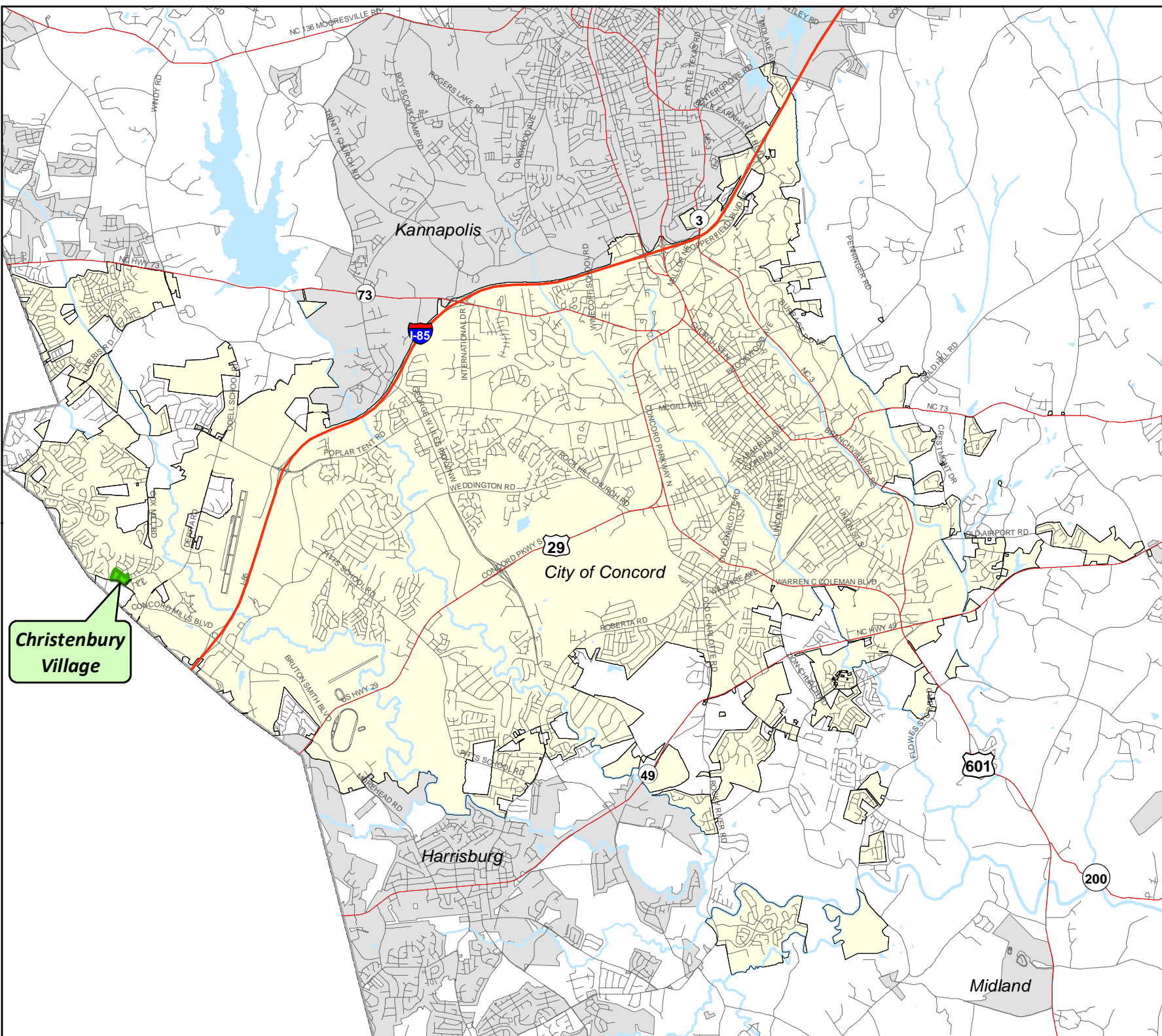
Christenbury Village

(PRS2021-00713)

Mixed Use

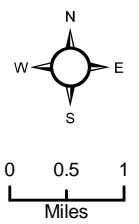
Allocation Request:
12,064

Project Scoring: 1



Christenbury Village

- Christenbury Village
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.





PRELIMINARY WASTEWATER FLOW APPLICATION

INSTRUCTIONS FOR FORM: PWWF-2021

The City of Concord Preliminary Wastewater Flow Application is to be completed for any residential, commercial, and/or industrial site development projects requiring a permit based upon 15A NCAC Subchapter 2T rules and the Water and Sewer Authority of Cabarrus County sewer allocation and commitment policy.

A DIGITAL COPY OF THE COMPLETED APPLICATION PACKAGE, SUPPORTING INFORMATION AND MATERIALS, SHOULD BE UPLOADED TO ACCELA ONLINE PORTAL IN THE APPLICABLE ACCELA CASE AT <https://accela1.cabarruscounty.us/CitizenAccess/> , UNLESS OTHERWISE SPECIFIED.

SUPPORTING INFORMATION AT A MINIMUM NEEDS TO INCLUDE A PROJECT NARRATIVE.

The narrative should include any and all information the applicant wants City Council to consider when evaluating the project for flow allocation. In general, the narrative should be a description of the project, including project data (zoning, number of lots, type of housing or business), price points for homes or investment for business, and any sustainability components of the plan (ie walking trails, water conservation, green building practices, operational aspects of business such as waste reduction, recycling, etc).

| | |
|--|---|
| <p><u>For Accela Case Inquiries, Contact:</u></p> <p>CITY OF CONCORD Planning & Neighborhood Development- Zoning Services Post Office Box 308 Concord, North Carolina 28026-0308 Telephone Number: (704) 920-5152</p> | <p><u>For Engineering Design Inquiries, Contact:</u></p> <p>CITY OF CONCORD Engineering Department Post Office Box 308 Concord, North Carolina 28026-0308 Telephone Number: (704) 920-5425</p> |
|--|---|



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

| TO BE COMPLETED BY THE CITY OF CONCORD | |
|--|--|
| Planning Case No: | |
| Engineering Project No: | |
| ATC No: | |

| | | | | | | |
|---|---|--|---|----------------------------|--|-----------------------------|
| A. Project Information | 1.) | Project Title: | Christenbury Village | | | |
| | 2.) | Description of project location: | 9620 Christenbury Parkway, approx 2,600 LF NW of the intersection of Derita Rd (SR 1445) and Christenbury Parkway <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small> | | | |
| | 3.) | Cabarrus County Parcel Identification Number: | 4589-27-3952 | 3a.) | Parcel Acreage: | 17.0 ac |
| | 4.) | Site Zoning and use: | PUD, Mixed Use | 5.) | Area Commercial or Industrial Building (sq. ft.) | 117,275 |
| | 6a.) | Description of Facility to be served. | Mixed Use - Residential/Commercial/Office | 6b.) Number of Lots | 5 | 6c.) Number of Units 156 |
| | 7d.) | Additional description information: | | | | |
| | B. Applicant Information | Christenbury Investors, LLC Manager (Title) | | 2400 South Blvd, Suite 300 | | |
| <small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small> | | (Applicant's Street or Box Number) | | | | |
| MPV Properties, LLC | | Charlotte, NC 28203 | | | | |
| <small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small> | | (Applicant's City, State, Zip Code) | | | | |
| 704-561-5308 | | 704-248-2101 | | | | |
| (Applicant's Phone Number) | | (Applicant's Facsimile Number) | | | | |
| George Macon (Name) GMacon@mpvre.com (Email) | | GMacon@mpvre.com | | | | |
| <small>(Name with Title and Email of contact person, who can answer questions about application)</small> | | (Applicant's Email Address) | | | | |
| REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner. | | | | | | |
| C. Design Engineer Information if available | Brian Smith | | Urban Design Partners | | | |
| | <small>(Typed name of North Carolina Professional Engineer)</small> | | (Company Name) | | | |
| | 27890 | | 1213 W Morehead St, Suite 450 | | | |
| | <small>(NCPE Registration Number)</small> | | (Street or Box Number) | | | |
| | (704) 334-3303 | | Charlotte, NC 28202 | | | |
| | <small>(Phone Number)</small> | | (City, State, Zip Code) | | | |
| Alex Spence | | aspence@urbandesignpartners.com | | | | |
| <small>(Name and affiliation of contact person, who can answer questions about application & designs)</small> | | (Engineer's Email Address) | | | | |

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

| | | | |
|-------------------------------------|--|-------------------------------------|-----------------------------------|
| <input type="checkbox"/> | Residential Subdivision | <input checked="" type="checkbox"/> | Retail (Stores, shopping centers) |
| <input checked="" type="checkbox"/> | Apartments/Condominiums | <input type="checkbox"/> | Institution |
| <input type="checkbox"/> | Mobile Home Park | <input type="checkbox"/> | Hospital, nursing home, dental |
| <input type="checkbox"/> | School, preschool, daycare | <input type="checkbox"/> | Church |
| <input checked="" type="checkbox"/> | Restaurants (Food or drink facilities) | <input type="checkbox"/> | Sports Centers |
| <input type="checkbox"/> | Hotels or motels | <input checked="" type="checkbox"/> | Business, offices, factories |
| <input type="checkbox"/> | Other (specify): _____ | | |

2.) The type of wastewater is (indicate percentage):

| | |
|----|-----------------------------|
| 65 | % Domestic |
| 35 | % Commercial |
| | % Industrial |
| | % Other use (Specify) _____ |

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 58,641.82 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

| Established Type (See 02T.0114(f)) | Daily Design Flow (a, b) | | No. of Units | Flow | |
|------------------------------------|--------------------------|----------|--------------|------------|------------------|
| See attached calculations | n/a | gal/ n/a | n/a | GPD | 58,641.82 |
| | | gal/ | | GPD | |
| | | gal/ | | GPD | |
| | | gal/ | | GPD | |
| | | gal/ | | GPD | |
| | | gal/ | | GPD | |
| | | gal/ | | GPD | |
| | | | Total | GPD | 58,641.82 |

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, George Macon, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.


 Signature: _____ Date: 1/24/22

**CHRISTENBURY VILLAGE
PRELIMINARY WASTEWATER FLOW APPLICATION
NARRATIVE AND CALCS**

DATE: 01/20/2022

UDP PROJECT NO: 20-117

APPLICANT

MPV Properties
George Macon
2400 South Boulevard, Suite 300
Charlotte, NC 28203
980-272-2015

ENGINEER

Urban Design Partners
Brian D. Smith, P.E.
1213 W Morehead Street, Suite 450
Charlotte, NC 28208
704-334-3303
704-334-3305 (fax)

PROJECT LOCATION

9620 Christenbury Parkway, Concord, NC 28027

NARRATIVE

MPV Properties is constructing a ±117,275 square foot vertically integrated mixed-use development on a 17.0 ac site at the NWC corner of Christenbury Parkway and Cox Mill Road (PID # 4589-27-3947, Zoning: PUD). The final development plan is the culmination of four (4) years of design collaboration with City of Concord Staff. This project approximates \$65 million in total development costs and executes the original design vision of the Christenbury Neighborhood Village.

This mixed-use development will consist of 5 proposed lots which will include 3 commercial buildings, 2 mixed use buildings consisting of 156 upscale apartment units and neighborhood service uses, and will be anchored by a Lowes Foods Grocery Store. The lease with Lowes Food is signed, and the store is expected to open in 2023. Additionally, NCDOT roadway improvements along Christenbury Parkway will span from Cox Mill Parkway to just west of Beard Road. These improvements include but are not limited to a roundabout, roadway widening, a 10' multi-use path along the property frontage, and pedestrian signalization and connectivity at the intersection of Cox Mill Road and Christenbury Parkway.

The subdivision construction drawings, City of Concord Record Number PRS2021-00713, were initially submitted on 3/4/2021. The construction drawings are currently under revision #4 and plans are anticipated for approval upon Review Plan Cycle #5.

The proposed buildings will be served by a proposed 8" PVC sanitary sewer line that will connect to the existing sanitary sewer line at the northwest property line of the site.

The following calculations illustrate the sanitary sewer demands for each building based on values provided by the City of Concord and found in 15A NCAC 02T .0114.

SANITARY SEWER CALCULATIONS

Mixed Use Building (Lot 1, Building #1):

Residential: 92 units (2 br or less) * 240 GPD + 4 units (3 br) * 120 GPD/br = 23,520 GPD

¹Club/Amenity: 7,400 SF * 50 gal/100 SF = 3,700 GPD

²Retail: 19,100 SF * 130 gal/1,000 SF = 2,483 GPD

Total: 29,703 GPD

Mixed Use Building (Lot 3, Building #3):

Residential: 56 units (2 br or less) * 240 GPD + 4 units (3 br) * 120 GPD/br = 14,880 GPD

²Retail: 15,346 SF * 130 gal/1,000 SF = 1,994.98 GPD

Total: 16,874.98 GPD

Grocery Store (Lot 5, Building #5)

³Deli: 40 gal/100 SF * 3,031 SF = 1,212.4 GPD

⁴Bakery: 10 gal/100 SF * 1,441 SF = 144.1 GPD

⁵Meat department: 75 gal/100 SF * 2,805 SF = 2,103.75 GPD

²General retail: 130 gal/1,000 SF * 44,723 SF = 5,813.99 GPD

Total: 9,274.24 GPD

Commercial Building (Lot 4, Building #4)

⁶Non-residential, unknown occupancy: 880 gal/acre * 0.97 ac = 853.6 GPD

Commercial Building (Lot 2, Building A):

⁶Non-residential, unknown occupancy: 880 gal/acre * 0.73 ac = 642.4 GPD

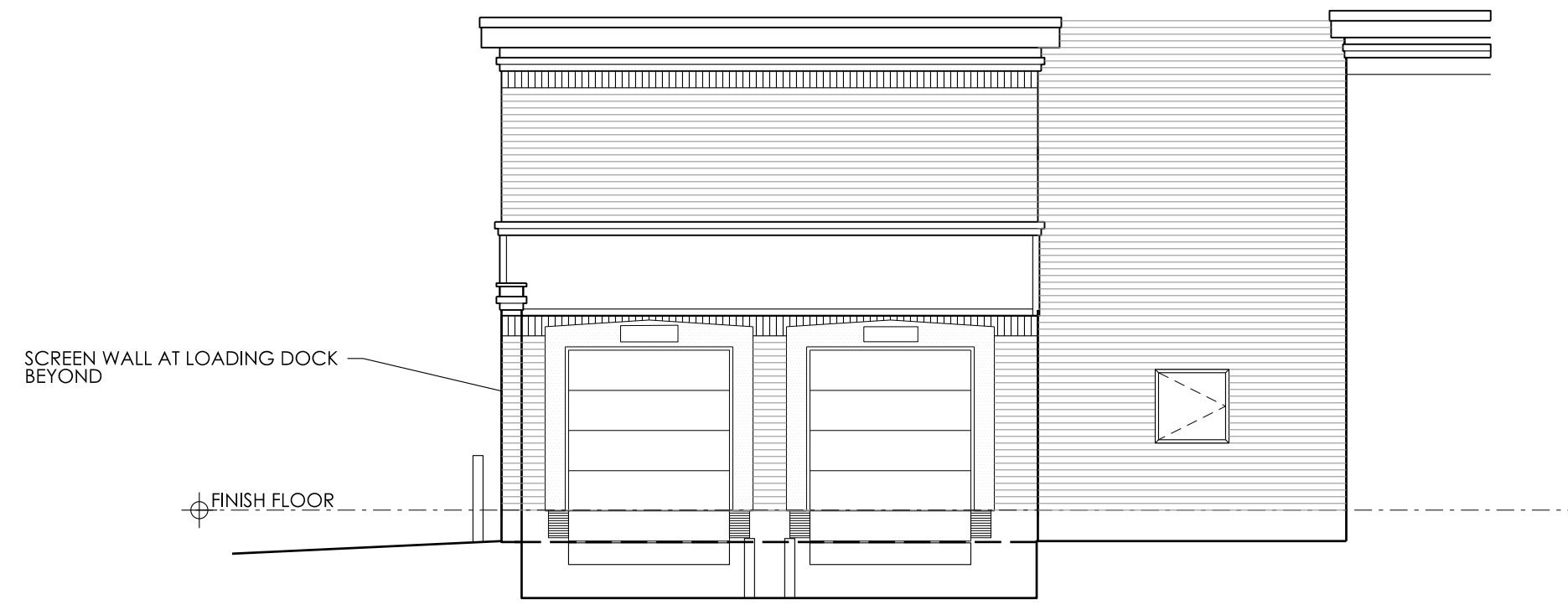
Commercial Building (Lot 2, Building B):

⁶Non-residential, unknown occupancy: 880 gal/acre * 1.47 ac = 1,293.60 GPD

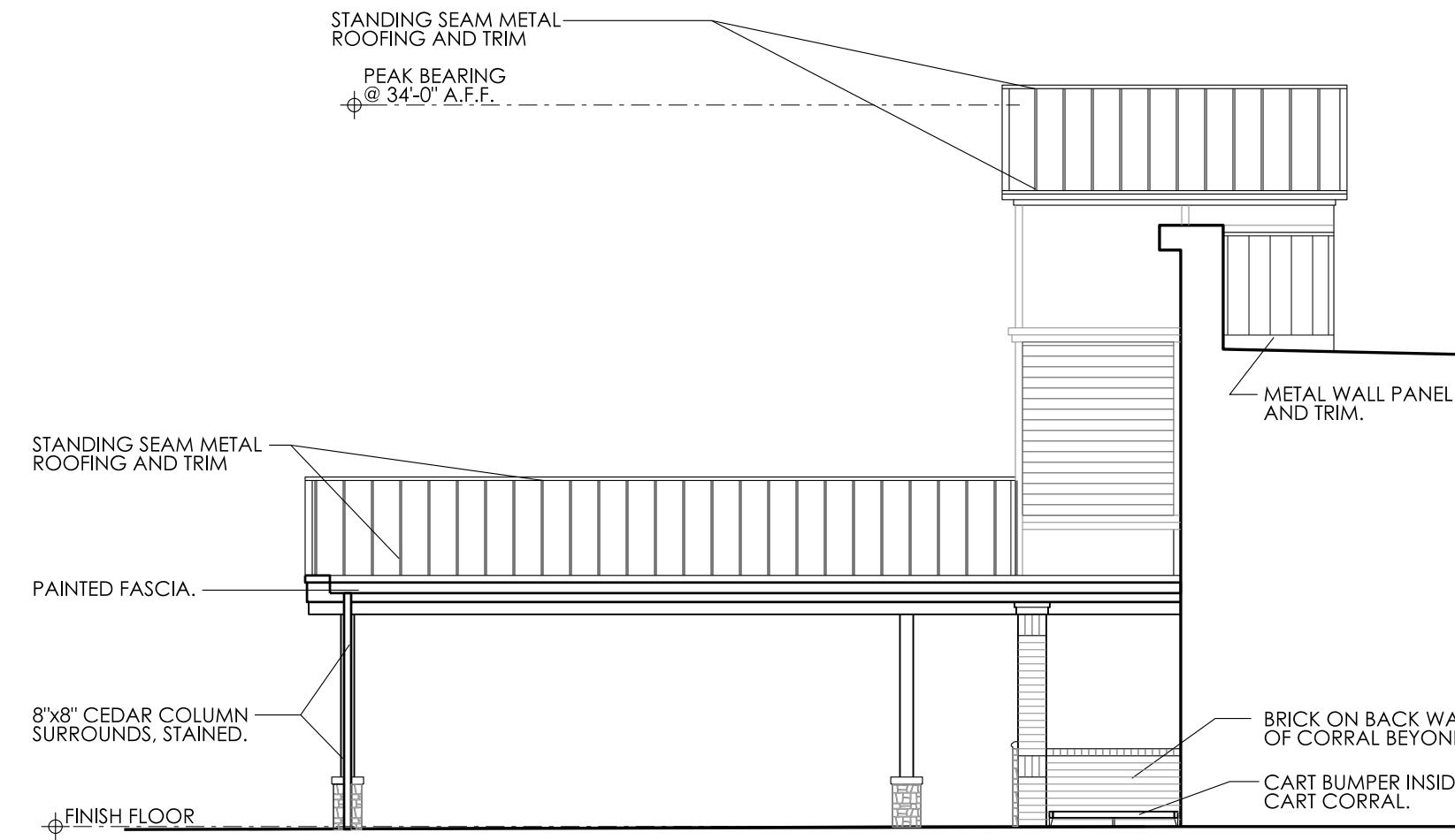
Total Sanitary Sewer Demand: 58,641.82 GPD

15A NCAC 02T .0114 REFERENCES

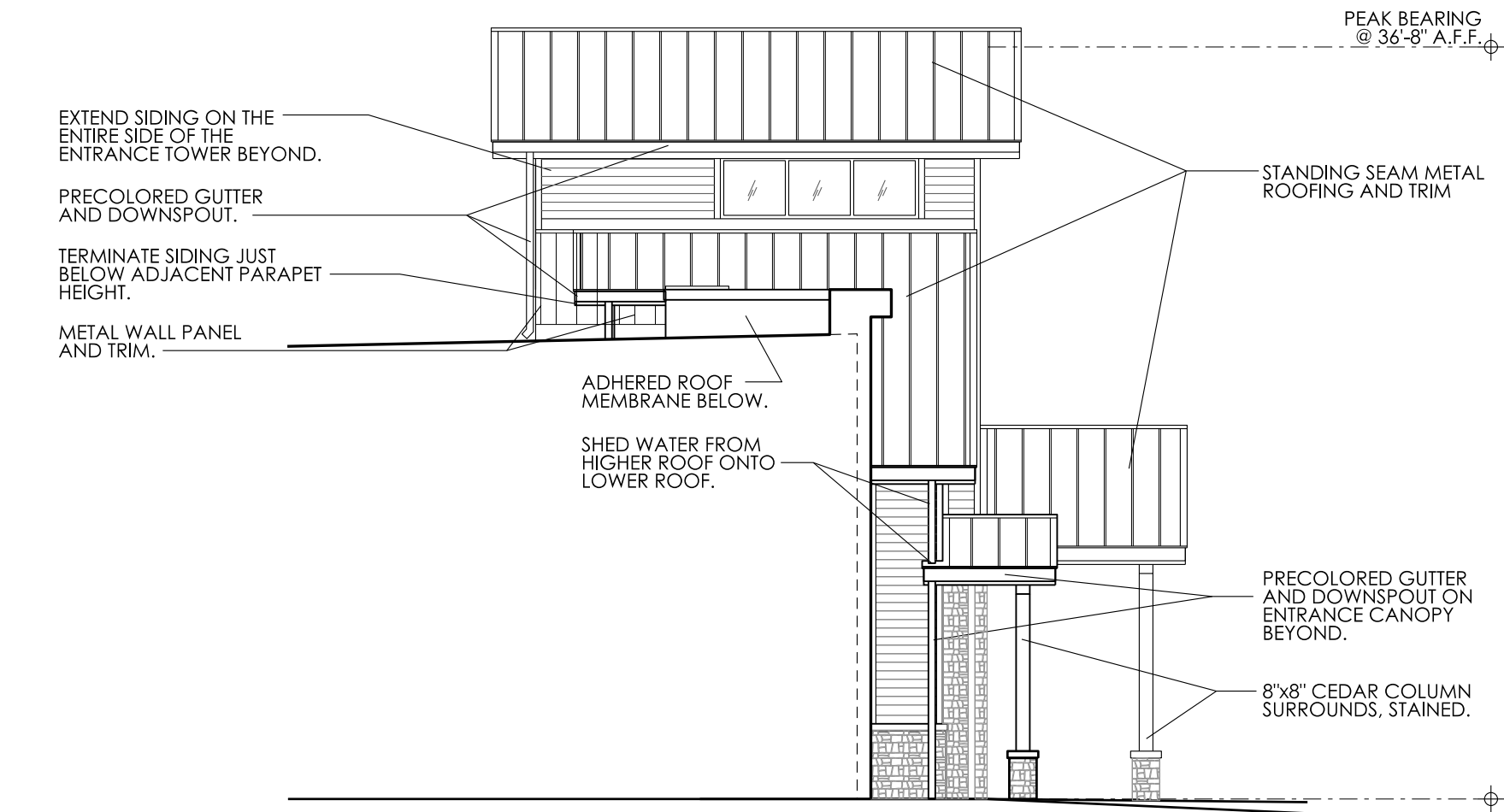
- | | | |
|-----|--|------------------------------|
| 1 = | Fitness, exercise, karate or dance center | 50 gal/100 sq ft |
| 2 = | Shopping centers and malls with food service | 130 gal/1000 sq ft |
| 3 = | Deli | 40 gal/100 sq ft floor space |
| 4 = | Bakery | 10 gal/100 sq ft floor space |
| 5 = | Meat department, butcher shop or fish market | 75 gal/100 sq ft floor space |
- (d) Design daily flow rates for proposed non-residential developments where the types of use and occupancy are not known shall be designed for a minimum of 880 gallons per acre, or the applicant shall specify an anticipated flow based upon anticipated or potential uses.
- 6 =



A5.1 PARTIAL FRONT ELEVATION
.1.1 SCALE: 1/8" = 1'-0"



A5.1 PARTIAL RIGHT ELEVATION
.4 SCALE: 1/8" = 1'-0"



A5.1 PARTIAL LEFT ELEVATION
.3 SCALE: 1/8" = 1'-0"



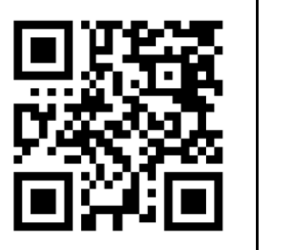
A5.1 RIGHT ELEVATION
.2 SCALE: 1/8" = 1'-0"

The elevations are conceptual in nature and subject to change in final design so long as the overall intent and architectural treatments are generally maintained in conjunction with the provisions of the Ordinance.

The illustrations reflect and commit to variations in materials and the roofline, the use of glass and a prominent entrance on the primary elevation, insets of herringbone or other architectural details to break up blank walls, horizontal bands, a base of building treatment, and/or other similar architectural features to create visual interest.



A5.1 FRONT ELEVATION
.1 SCALE: 1/8" = 1'-0"



bai - ARCHITECTS
978 Brink Road - Raleigh, North Carolina 27607 - p 919.859.7121 - info@baiarchitects.com
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NO.

COMMENTS/REVISIONS
PRELIMINARY RELEASED FOR REVIEW

DATE
06/17/21

LOWES FOODS 282
AT CHRISTENBURY VILLAGE
Christenbury Parkway and Cox Mill Road
Concord, North Carolina

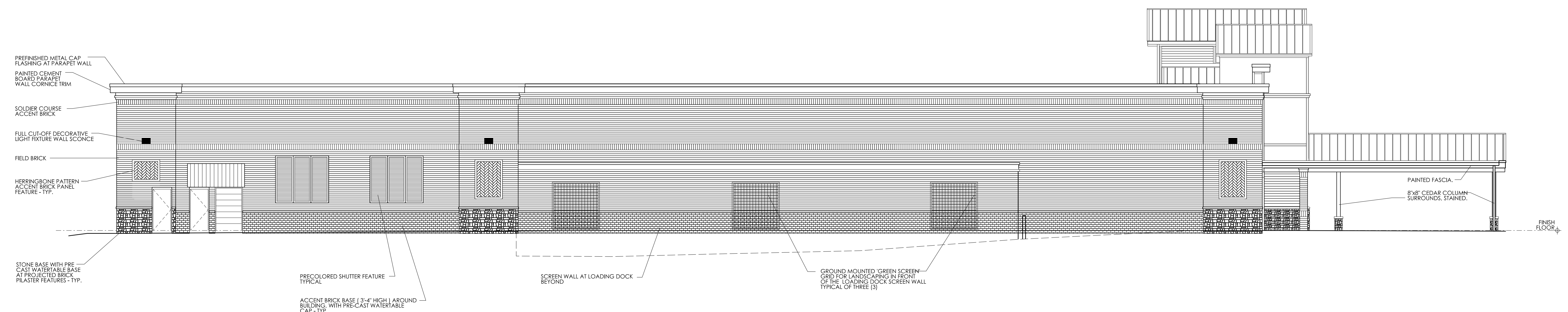


A5.1

LOWES FOODS
282



bai - ARCHITECTS
 978 Trinity Road - Raleigh, North Carolina 27607 - p 919.859.7003 - f 919.859.7121 - bai-architects.com
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A5.2 LEFT ELEVATION
 .2 SCALE: 1/8" = 1'-0"

The elevations are conceptual in nature and subject to change in final design so long as the overall intent and architectural treatments are generally maintained in conjunction with the provisions of the Ordinance.

The illustrations reflect and commit to variations in materials and the roofline, the use of glass and a prominent entrance on the primary elevation, insets of herringbone or other architectural details to break up blank walls, horizontal bands, a base of building treatment, and/or other similar architectural features to create visual interest.



A5.2 REAR ELEVATION
 .1 SCALE: 1/8" = 1'-0"

| NO. | DATE | COMMENTS/REVISIONS |
|-----|----------|---------------------------------|
| | 06/17/21 | PRELIMINARY RELEASED FOR REVIEW |

LOWES FOODS 282
 AT
 CHRISTENBURY
 VILLAGE
 Christenbury Parkway and Cox Mill Road
 Concord, North Carolina



Nonresidential

Holly Grove Subdivision (PRS2021-02142)

2975 Concord Pkwy S.

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|--------------|----------------------|
| 7/16/2021 | 2/4/2021 | 4 outparcels | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|-------|------|------|------|
| 4032 | 4032 | | |

| Office | Small Area Plan | Part of Approved Mixed Use | Annexation (Not ED) | Logistics/Distribution | Total |
|--------|-----------------|----------------------------|---------------------|------------------------|-------|
| 0 | 0 | 1 | 0 | 0 | 1 |

Brief Summary

4 non-residential buildings on Concord Pkwy S. The property was voluntarily annexed on December 31, 1995. Rezoning to PUD approved via super-majority by Planning and Zoning Commission December 15, 2020. The preliminary plat was approved on October 18, 2021. The non-residential buildings have not been parceled out at this time.

Adjacent to 134 townhomes also seek allocation (which were also approved in zoning request).

Outstanding Items

These plans are in review as of 2/11/22. The NCDOT Driveway permit and NCDEQ sedimentation and erosion control permit have not been issued.



Holly Grove Commercial

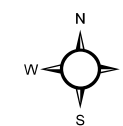
(PRS2021-02142)

4 Commercial/Office
Parcels

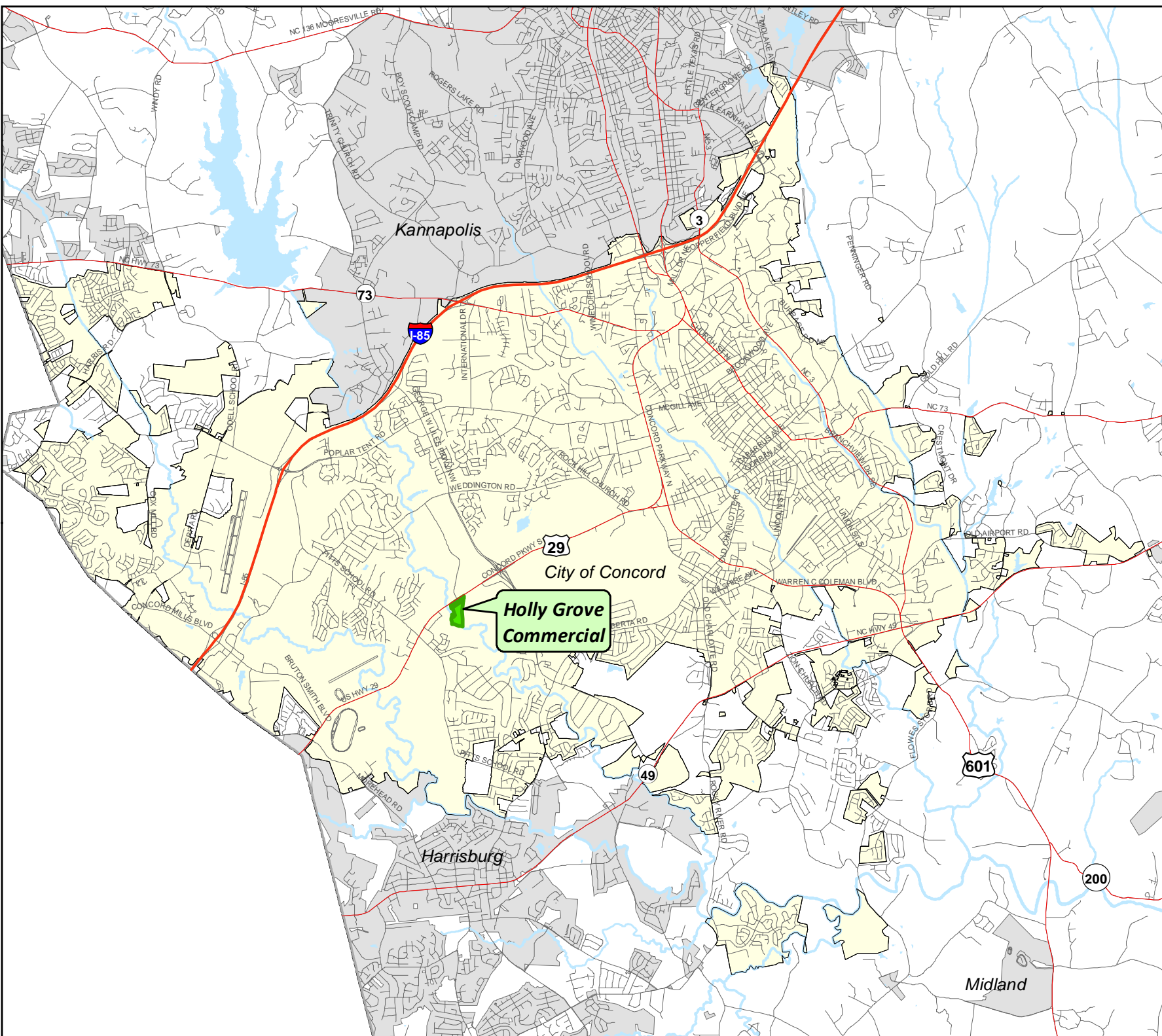
Allocation Request:
5,040

Project Scoring: 2

- Holly Grove
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.



0 0.5 1
Miles





City of Concord
City Council
Post Office Box 308
Concord, NC 28026-0308

Re: Holly Grove – Narrative

Dear Council Members:

Holly Grove Subdivision is located on the South side of Concord Pkwy South, just opposite Concord Farms Road and is +/- 31.74 acres. It lies along the Highway 29 Corridor, located within a few miles to the Charlotte Motor Speedway, Concord Mills, and other attractions for residents and visitors, also known as the “Public Interest District.”

The property was zoned PUD in December 2020 and found to be consistent with the 2030 Land Use Plan. The project contains a unique mix of commercial and residential uses making them highly walkable between the uses. We have 40,000 sf of office and retail along the frontage and 127 residential townhomes.

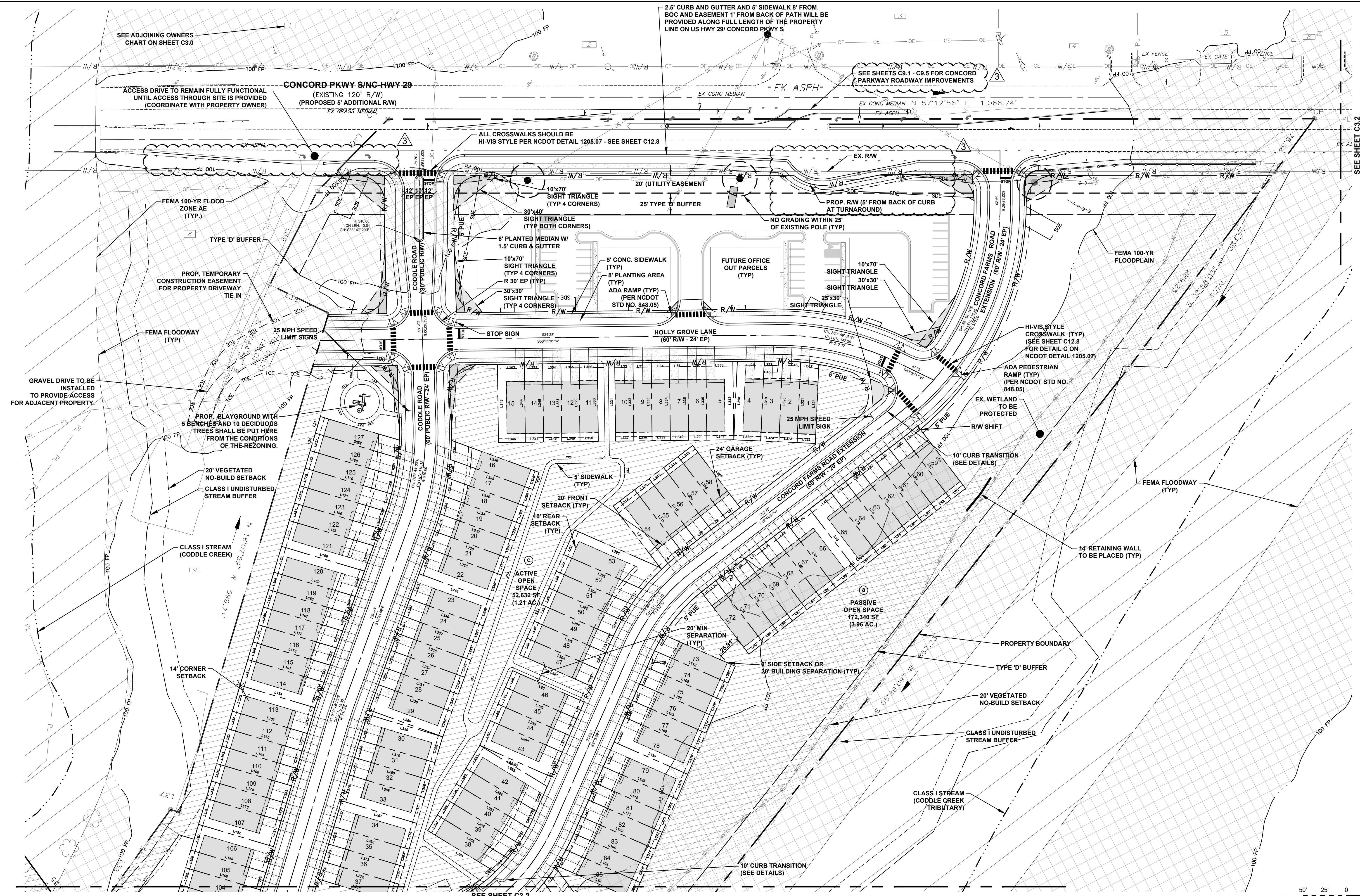
We will build the residential townhomes first; then follow with commercial & retail. The townhomes are designed with livable floor plans and energy-efficient features. The anticipated sale price of the homes will be \$350,000 which puts the entire project value/tax basis at over \$50,000,000.

We are proud that our site offers 51% of total area in dedicated open space which includes 3 mini parks, walkways, trees, benches, playgrounds, and 2 community gardens located throughout the site. We also are dedicating a greenway easement to connect our project to the future greenway system.

Thank you for your consideration for the wastewater flow allocation and look forward to building another successful project in the City of Concord.

Sincerely,

Carolina Development Services, LLC



SEE SHEET C3.2

SEE SHEET C3.2



| REV. NO. | DESCRIPTIONS | DATE |
|----------|---------------------------------------|----------|
| 3 | REVISIONS PER CITY AND NCDOT COMMENTS | 02/02/22 |
| 2 | REVISIONS PER CITY AND NCDOT COMMENTS | 01/08/22 |
| 1 | REVISIONS PER CITY AND NCDOT COMMENTS | 11/02/21 |



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 www.mckimcreed.com

**HOLLY GROVE SUBDIVISION
 CONCORD PARKWAY SOUTH
 CONCORD, NC 28027**

ENLARGED SITE PLAN

| | |
|-------------|------------|
| DATE: | JULY 2021 |
| MCE PROJ. # | 08263-0001 |
| DRAWN | JPM |
| DESIGNED | CEB |
| CHECKED | |
| PROJ. MGR. | KDD |

SCALE
 HORIZONTAL: 1" = 50'
 VERTICAL: N/A

C3.1
 DRAWING NUMBER
 3
 REVISION

STATUS: **PRELIMINARY DRAWING
 NOT FOR CONSTRUCTION**

Nonresidential

Aviation Industrial (PRS2021-02016)

7075 Aviation Blvd NW

| First Submittal | Last Submittal | Units | Technically Approved |
|------------------------|------------------------|--|---|
| 7/7/2021 | 10/8/21 RTAP 2/9/22 | 2 industrial buildings, total 54,670 sf. Warehouse | Yes 1/20/22: Approved for building construction also, but not water meters pending sewer allocation |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|--------------|-------------|-------------|-------------|
| 1200 | 1200 | | |

| Office | Small Area Plan | Part of Approved Mixed Use | Annexation (Not ED) | Logistics/Distribution | Total |
|---------------|------------------------|-----------------------------------|----------------------------|-------------------------------|--------------|
| 0 | 0 | 0 | 0 | 0 | 0 |

Brief Summary

Two industrial buildings located on Aviation Blvd providing 54,670 sq. ft. of floor area. The property was voluntarily annexed on June 20, 2021. Rezoning case Z-16-21 was approved via super-majority by Planning and Zoning Commission on July 20, 2021. The City has authorized these buildings for construction, including site utility work, but not the setting of meters or activation of services.

Outstanding Items

None.

Aviation
Industrial

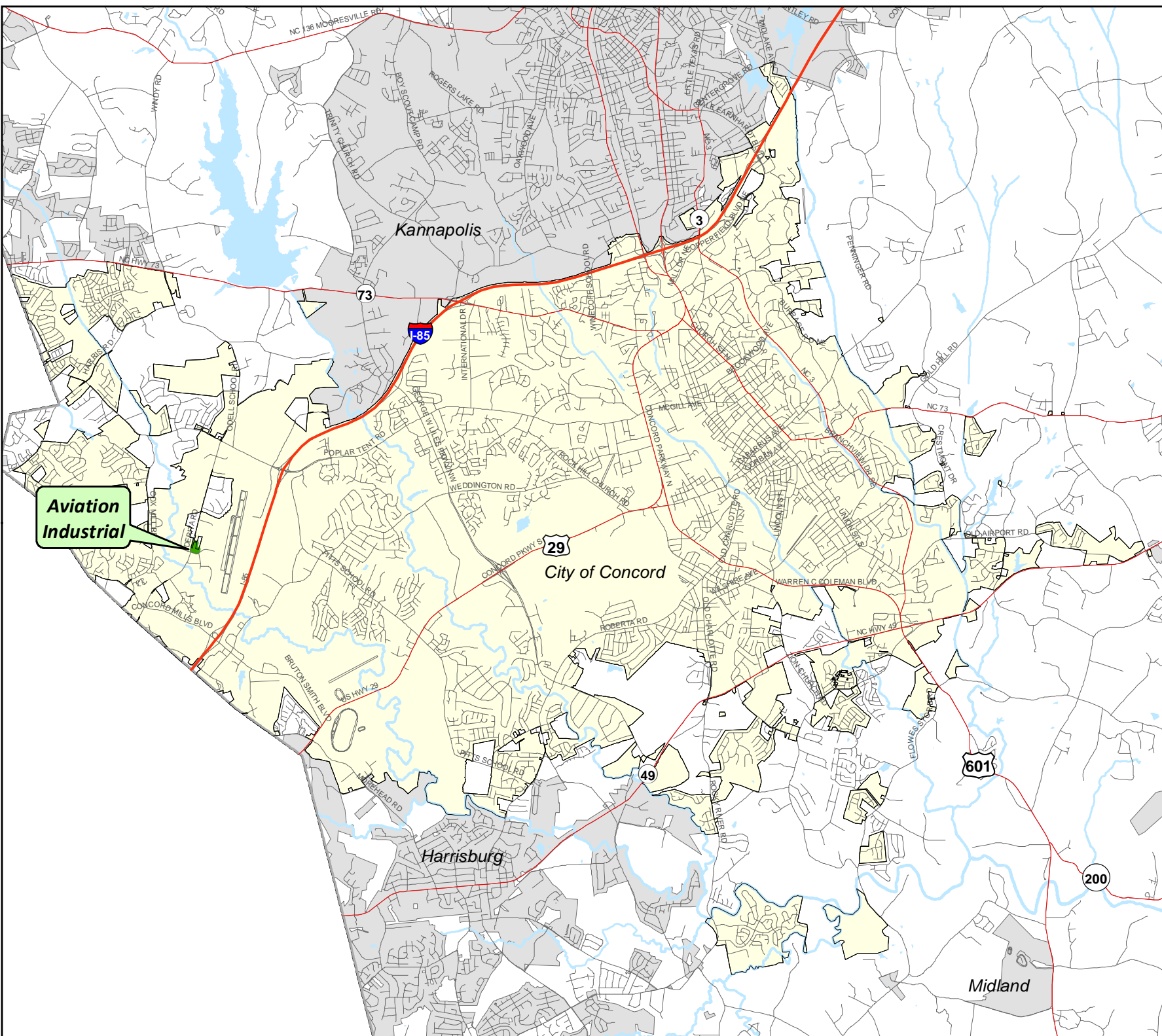
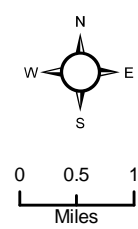
(PRS2021-02016)

2 Industrial Buildings
Total 54,670 sf.
Warehouse

Allocation Request:
1,200

Project Scoring: 0

- Aviation Industrial
- Interstate
- Highways
- Streets
- Lakes & Ponds
- Rivers
- Concord
- Other Municipalities
- Cabarrus Co.



**Aviation
Industrial**



January 3, 2022

Project Narrative for Wastewater Flow Allocation

Project: Aviation Industrial

Accela #: PRS2021-02016

Flow Requested: 1200 GPD

Aviation Industrial is a two building, flex-industrial development located in the existing Concord Airport Business Park. The project highlights an opportunity to take advantage of the rapidly growing industrial market in the Charlotte area and the I-85 corridor and expand on the success of the previously constructed park. Concord Airport Business Park has, and continues to be, a prominent location for high-class tenants that spark the Concord economy through the creation of jobs and capital investment. With two leases already in hand, construction and delivery are being fast tracked in order to bring yet another pair of tenants to the local community. Home Depot and Gateway Classic Cars are eager to continue their success in their respective industries in their new facilities in Concord and we are happy to be working with the city to provide them with such opportunity.

The two buildings sit adjacent to one another, providing improvements to the previously undeveloped corner of Derita Road and Aviation Boulevard. Building One consists of 36,600 SF with Building Two being comprised of 19,800 SF. Both buildings will consist of tilt-wall construction on top of a concrete slab-on-grade. The buildings are fitted with storefront windows and doors and clerestory windows distributed along the face of the exterior walls to allow ample sunlight into the interior space and reduce unnecessary electrical loads caused by excess lighting. Both tenants have specified various pieces of equipment in their respective leases to reduce waste such as trash compactor(s), LED lighting, and energy-efficient appliances. As the landlord and the general contractor, we have full control of ensuring the project is accomplished through means that are least impactful to the environment.

The development has already received conditional site plan approval as of December 6, 2021 as such, the project is primed for wastewater flow allocation. We are excited to bring this new development to the City of Concord and hope a solution can be achieved to provide sewer flow to the project in a timely manner.

ZONING CODE SUMMARY

PROJECT NAME: AVIATION BLVD
 PROJECT ADDRESS: 1925 DERITA ROAD, CONCORD, NC
 OWNER: SILVERMAN GROUP
 OWNER ADDRESS: 195 MORRISTOWN RD, BASKING RIDGE, NJ 07920
 PLANS PREPARED BY: ORSBORN ENGINEERING GROUP
 ZONING: I-1
 PROPOSED USE: WAREHOUSE/INDUSTRIAL
 AVERAGE BUILDING HEIGHT: < 50 FEET STORES: 1
 BUILDING COVERAGE: 162,670 SQ. FT. GROSS FLOOR AREA: 162,670 SQ.FT. RATIO: 0.26
 LOT SIZE: 14.46 SQ. FT. (ACRES) NUMBER OF BUILDINGS: 2 PROPOSED, 1 EXISTING
 YARD REQUIREMENTS: REQUIRED BUFFERS:
 SETBACK (FRONT): 30 FT. FROM R/W FRONT: (NO) / YES ___ FT.
 SIDE YARD (SIDE): 0 FT. REAR: (NO) / YES ___ FT.
 REAR YARD: 0 FT. SIDE (L): (NO) / YES ___ FT.
 SIDE (R): NO / YES 20 FT LANDSCAPE BUFFER.
 REQUIRED SCREENING:
 FRONT: (NO) / YES
 REAR: (NO) / YES
 SIDE (L): (NO) / YES
 SIDE (R): (NO) / YES
 PARKING ONLY: NO / YES
 IMPERVIOUS COVERAGE: 9.70 SQ. FT. (ACRES)
 PARKING DATA:
 AUTOMOBILE:
 INDUSTRIAL/WAREHOUSE SPACES REQUIRED: 2 SPACES PER 3 EMPLOYEES AT PEAK SHIFT
 1 SPACE PER COMPANY VEHICLE REQUIRED
 SPACES PROVIDED:
 54 SPACES (INCLUDING 3 VAN ACCESSIBLE)
 "REFER TO Z-16-21"

SITE NOTES

- PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A SURVEY PREPARED BY CLONINGER SURVEYING & MAPPING, PLLC, DATED APRIL 26, 2021.
- OTHER ITEMS ON THESE DRAWINGS WERE DERIVED FROM CONSTRUCTION DRAWINGS BY FLEMING ENGINEERING, INC., "CONCORD AIRPORT BUSINESS PARK PHASE 2", DATED MARCH 03, 2015.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING BENCHMARKS AND OTHER REFERENCE POINTS THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL CONSTRUCTION ELEMENTS. ALL DISCREPANCIES IN DIMENSIONING SHALL BE REPORTED TO THE ENGINEER AND OWNER IMMEDIATELY.
- DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE SHOWN. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- WHEN DETAILS ARE PROVIDED, CONTRACTOR SHALL CONSTRUCT JOB PER SPECIFIC DETAILS, AND NOT BY SCALING FROM THESE PLANS.
- ALL IMPROVEMENTS AND WORK SHALL BE IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE STATE AND LOCAL STANDARDS. IN THE ABSENCE OF SPECIFIC PRODUCT SPECIFICATIONS OR CONSTRUCTION PROCEDURES, CONTRACTOR SHALL REFER TO THE 2018 NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, AND SHALL SUBMIT THE DETAILS/SPECIFICATIONS TO THE ENGINEER FOR APPROVAL.
- IF A CONFLICT EXISTS BETWEEN SPECIFICATIONS ON THESE PLANS, SPECIFICATIONS REFERENCED ON THESE PLANS, DETAILS ON THESE PLANS, AND MANUFACTURERS RECOMMENDATIONS, THE CONTRACTOR WILL BE HELD TO THE STRICTER SPECIFICATION.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE IN A MANNER SUCH THAT WORKERS, OWNER REPRESENTATIVES, AND THE GENERAL PUBLIC IS PROTECTED FROM HARM. CONTRACTOR MAY INSTALL TEMPORARY PERIMETER FENCING AS APPROVED BY OWNER. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO INSTALLATION OF FENCING.
- ROADWAY MARKING, STRIPING, SIGNS AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTCD) AND SUBSEQUENT REVISIONS AND ADDENDUMS, AS PUBLISHED BY NCDOT AND CDOT.
- UNLESS OTHERWISE INDICATED, ALL PAVEMENT MARKINGS SHALL BE PAINT INSTALLED PER NCDOT STD. SPEC. SECTION 1205.
- UNLESS OTHERWISE INDICATED, PARKING STALLS SHALL BE 4" WHITE LINES.
- CONTRACTOR SHALL ADHERE TO ALL CONDITIONS AND PROVISIONS OF THE PROJECT PERMITS AND APPROVALS INCLUDING BUT NOT LIMITED TO DRIVEWAY PERMITS AND "APPROVED AS NOTED" COMMENTS. CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN CONDITIONS/PROVISIONS AND CONSTRUCTION DOCUMENTS TO ENGINEER AND OWNER.
- THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- CONTRACTOR SHALL INSTALL PVC SLEEVES UNDER PAVED AREAS FOR UTILITY AND IRRIGATION BEING INSTALLED AFTER PAVING OPERATIONS COMMENCE. COORDINATE WITH EACH UTILITY AND IRRIGATION INSTALLER FOR NUMBER OF SLEEVES, LOCATION, AND SIZE REQUIRED. ALSO REFER TO ELECTRICAL SITE PLAN.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING NECESSARY PVC SLEEVES UNDER PAVED AREAS FOR IRRIGATION BEING INSTALLED AFTER PAVING OPERATIONS COMMENCE. GC SHALL COORDINATE PAVING SCHEDULE WITH LANDSCAPE CONTRACTOR TO ENSURE INSTALLATION OF SLEEVES OCCURS PRIOR TO COMMENCEMENT OF PAVING OPERATIONS.
- CONTRACTOR SHALL INSTALL PVC SLEEVES UNDER PAVED AREAS FOR UTILITIES BEING INSTALLED AFTER PAVING OPERATIONS COMMENCE. CONTRACTOR SHALL COORDINATE WITH EACH UTILITY FOR NUMBER OF SLEEVES, LOCATION, AND SIZE REQUIRED. CONTRACTOR SHALL REVIEW COMPLETE SET OF PLANS FOR COORDINATION BETWEEN CIVIL, ARCHITECTURAL, LANDSCAPE, MEP, ETC. PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REVIEW COMPLETE SET OF PLANS FOR COORDINATION BETWEEN CIVIL, ARCHITECTURAL, LANDSCAPE, MEP, ETC. PRIOR TO CONSTRUCTION.
- ALL WALKS AND OTHER PAVED AREAS SHALL COMPLY WITH ADA CODE FOR LONGITUDINAL SLOPE AND CROSS SLOPE. WALK SLOPES SHALL NOT EXCEED 5% AND SHALL NOT EXCEED 2% CROSS SLOPE UNLESS OTHERWISE NOTED.
- ANY MOVEMENT OF EXISTING ELECTRICAL UTILITIES CAN BE AT THE OWNER DEVELOPER COST. CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING ELECTRICAL CABLE IN THE AREA TO MAKE SURE 4" OF COVER IS MAINTAINED AT ALL TIMES. ALL ELECTRICAL INSTALLATION MUST COMPLY WITH CITY OF CONCORD TECHNICAL STANDARDS.

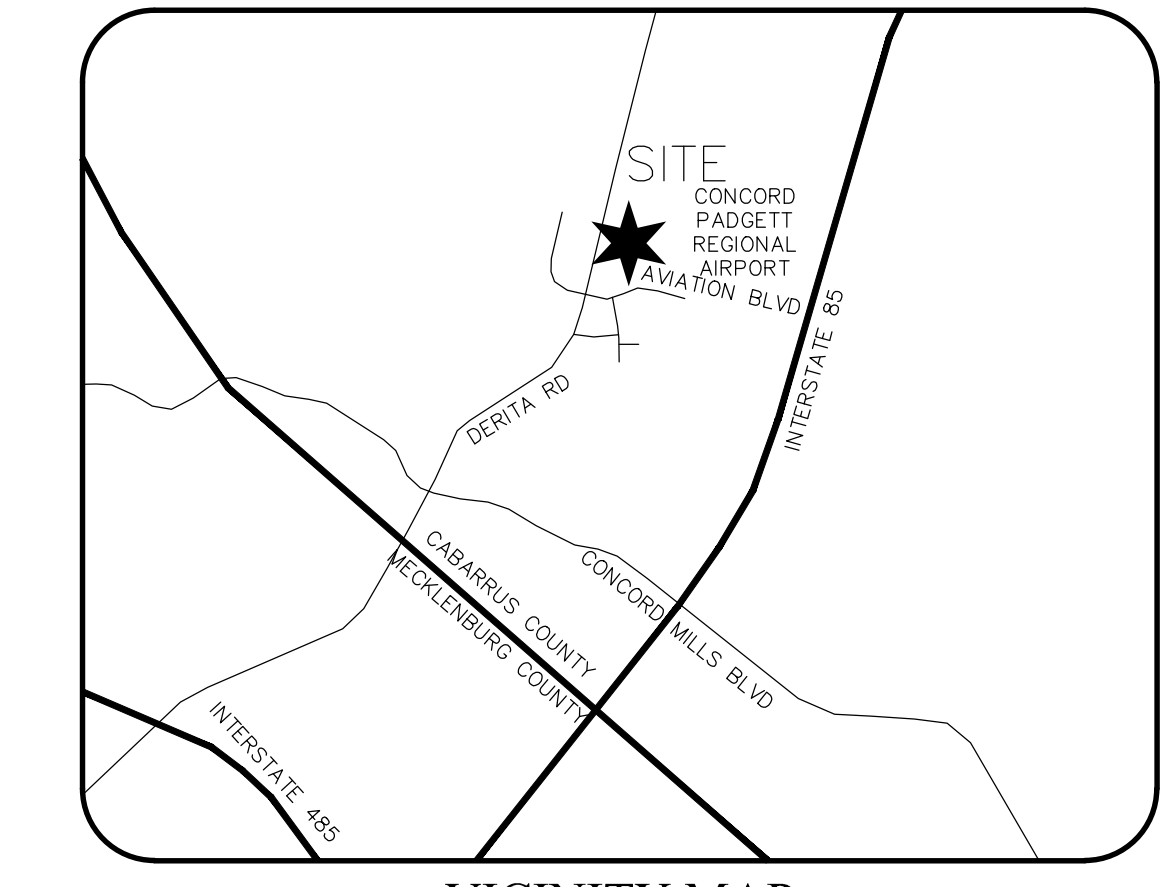
LEGEND

- PROPERTY LINE OR R/W
- EXISTING CURB & GUTTER
- EXISTING FENCING
- EXISTING OVERHEAD POWER LINE
- EXISTING TREE LINE
- EXISTING CONTOURS

IMPERVIOUS AREA SUMMARY

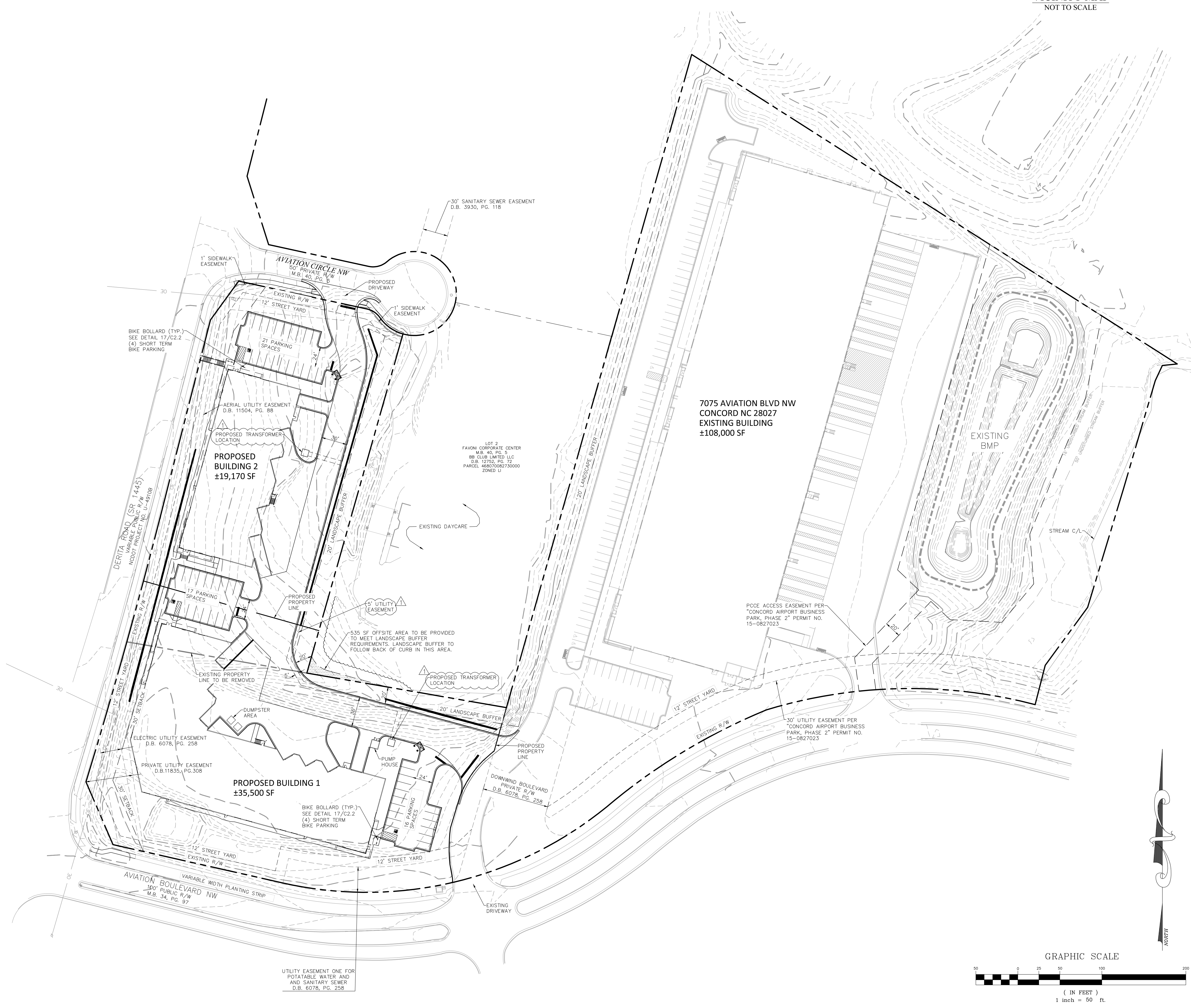
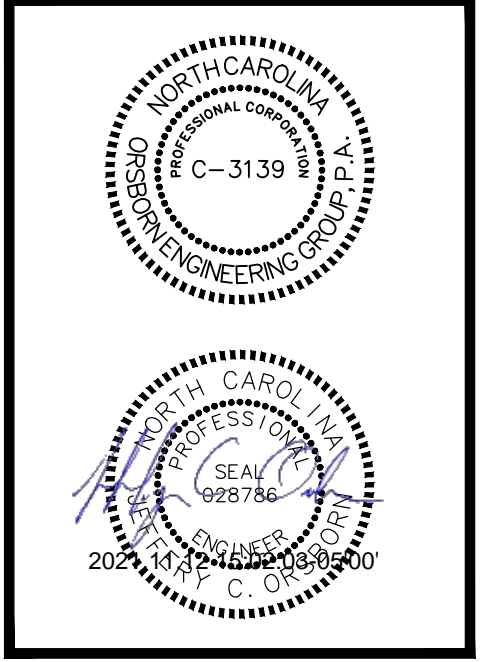
| PROPERTY | IMPERVIOUS AREA (SF) | SITE AREA (SF) | IMP. PERCENTAGE (%) |
|--------------|----------------------|----------------|---------------------|
| BUILDING 1 | 73,200 SF | 120,964 SF | 60.7% |
| BUILDING 2 | 52,595 SF | 83,142 SF | 63.2% |
| EX. BUILDING | 225,762 SF | 425,950 SF | 53.0% |
| TOTAL | 351,552 SF | 630,976 SF | 55.7% |

NOTE: IMPERVIOUS MAX IS 80%



OVERALL SITE PLAN FOR AVIATION INDUSTRIAL
 1925 DERITA ROAD
 CONCORD, NORTH CAROLINA

SILVERMAN GROUP
 195 MORRISTOWN RD
 BASKING RIDGE, NJ 07920



| NO. | DATE | REVISIONS PER CITY OF CONCORD COMMENTS |
|-----|----------|--|
| 1 | 08/13/21 | |

JOB # 21016
 DATE: 2021-07-06
 SCALE: 1" = 40'
 DRAWN BY: IDL
 APPROVED BY: JCO

C2.0

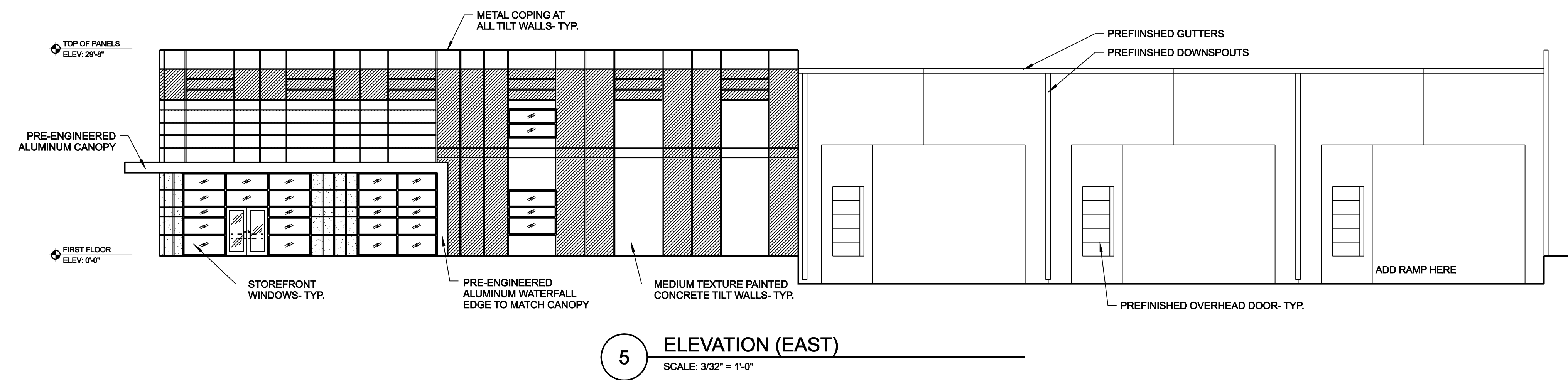
November 12, 2021 - 10:53am By: dlskrlk
 P:\21016\21016-01\Drawings\21016 C2.0.dwg

PAINT COLORS:

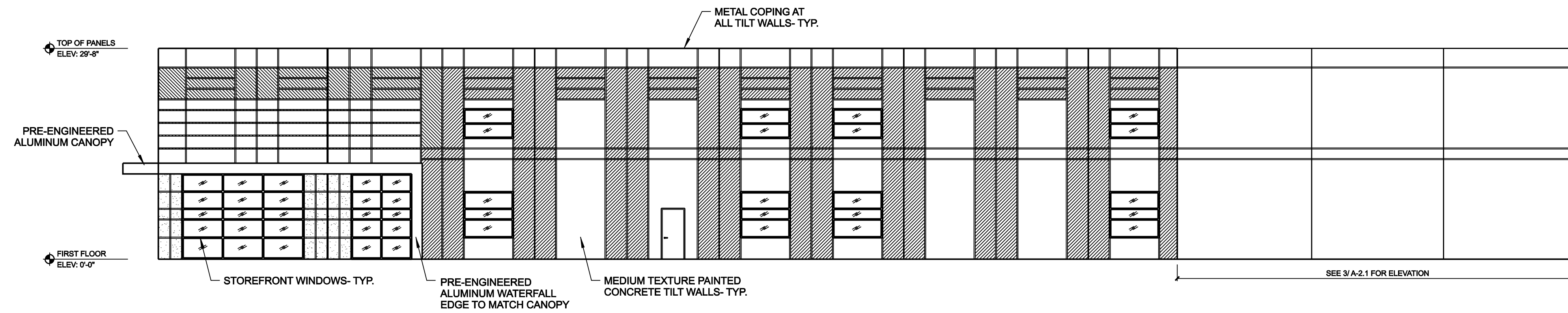
- PAINT #1; FIELD (EIDER WHITE) (A)
- PAINT #2; ACCENT (MINDFUL GRAY) (B)
- PAINT #3; ACCENT (DOVETAIL) (C)

NOTES:

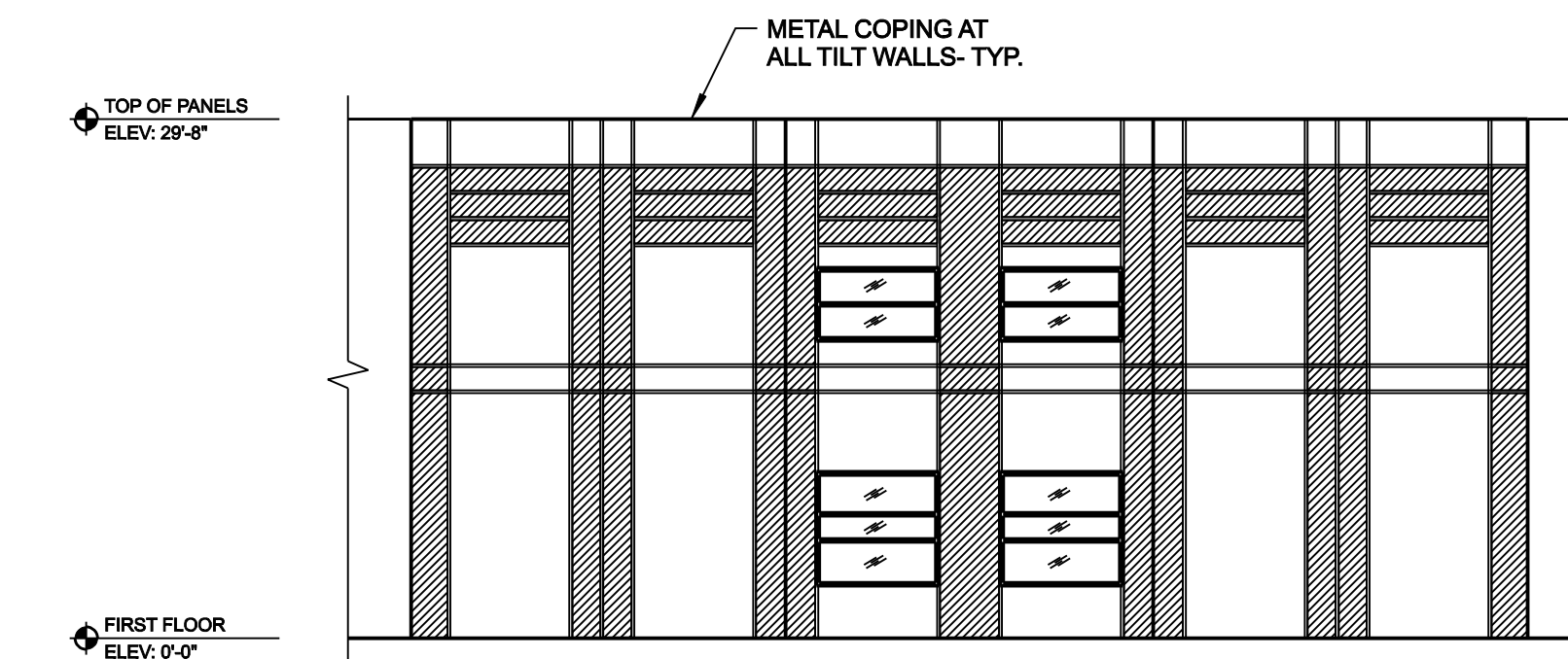
1. PAINT ALL TILT CONCRETE 'U' N.O.
2. PAINT ALL INTERIOR BOLLARDS & GUARDS SAFETY YELLOW.
3. PAINT ALL EXTERIOR BOLLARDS SAFETY YELLOW.
4. DIRECT METAL PRIMER TO BE USED ON ALL PAINTED GALVANIZED METAL.
5. PAINT FIRE RISERS RED.
6. EXTERIOR RAILINGS, LADDERS, STAIRS TO BE PAINTED METAL.
7. GUTTERS, DOWNSPOUTS, GUARDS & GRAVEL STOPS TO BE PREFINISHED METAL; COLOR TBD.
8. CONTRACTOR TO PAINT ONE PANEL MOCK UP FOR APPROVAL.
9. PROVIDE TINTED PRIMER FOR ALL TEXTURED COATING APPLICATIONS. ALL TEXTURED COATINGS TO BE 'MEDIUM TEXTURED'.



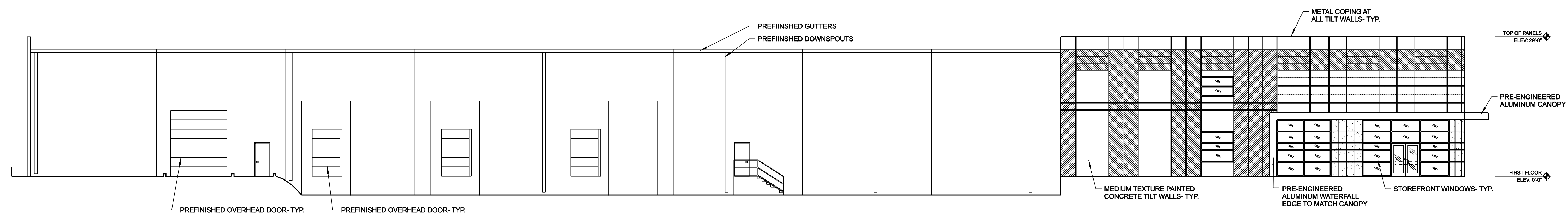
5 ELEVATION (EAST)
SCALE: 3/32" = 1'-0"



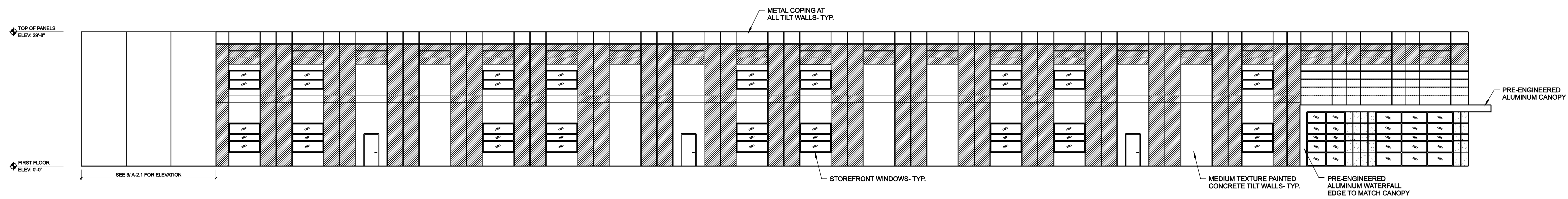
4 ELEVATION (WEST)
SCALE: 3/32" = 1'-0"



3 ELEVATION (WEST)
SCALE: 3/32" = 1'-0"



2 ELEVATION (NORTH)
SCALE: 3/32" = 1'-0"



1 ELEVATION (SOUTH)
SCALE: 3/32" = 1'-0"

ADDED MATERIAL
NOTES TO ALL
ELEVATIONS

| REV. | DATE | DESCRIPTION |
|------|----------|-----------------|
| 1 | 09.29.21 | PERMIT COMMENTS |

DATE:
AUGUST 25, 2021

PROJECT NO.:
17000.22.01

TITLE:
BUILDING 1-
ELEVATIONS

DRAWING NO.
A-2.1



2907 Providence Rd
Suite 304
Charlotte, NC 28211

T. 704.342.9876
F. 704.334.4246

wgmdesign.com



SLAVIATION
PHASE II:
BUILDING 1 &
BUILDING 2



7045 AVIATION BLVD.
CONCORD, NC

'SHELL'



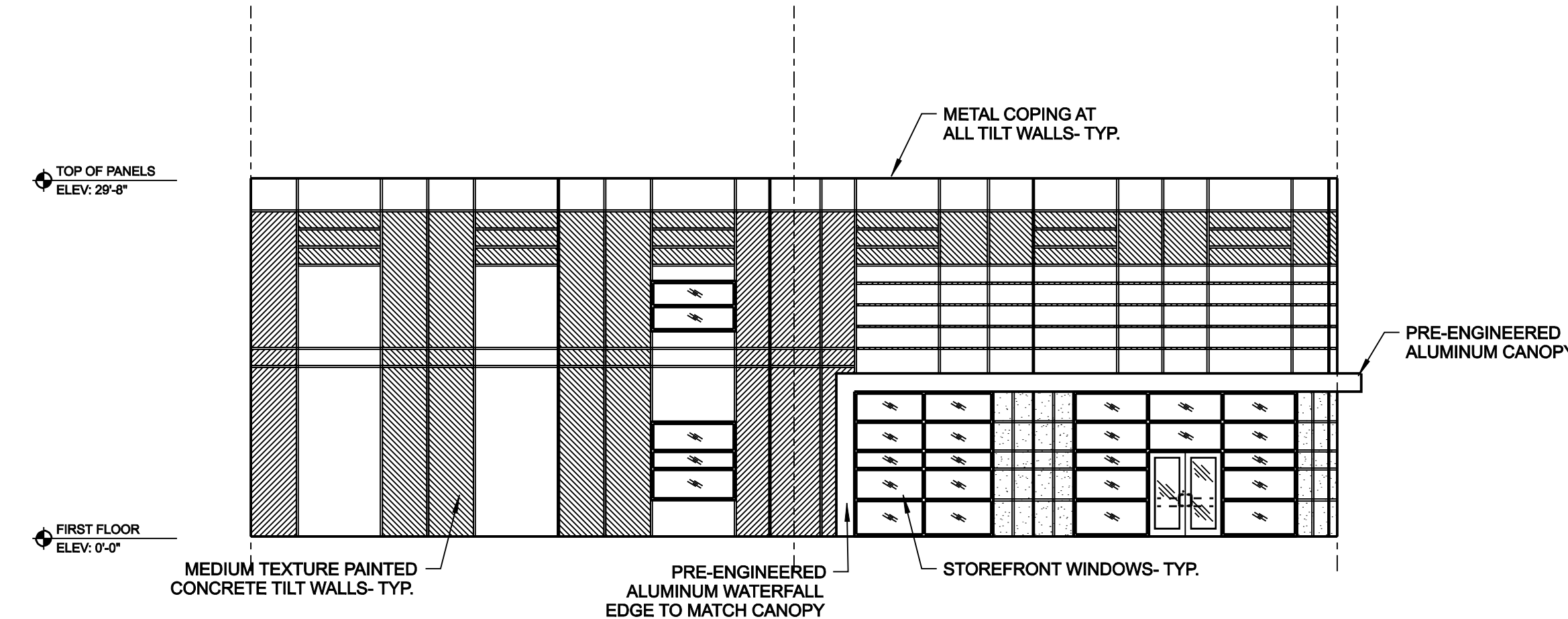
SEPTEMBER 29, 2021

PAINT COLORS:

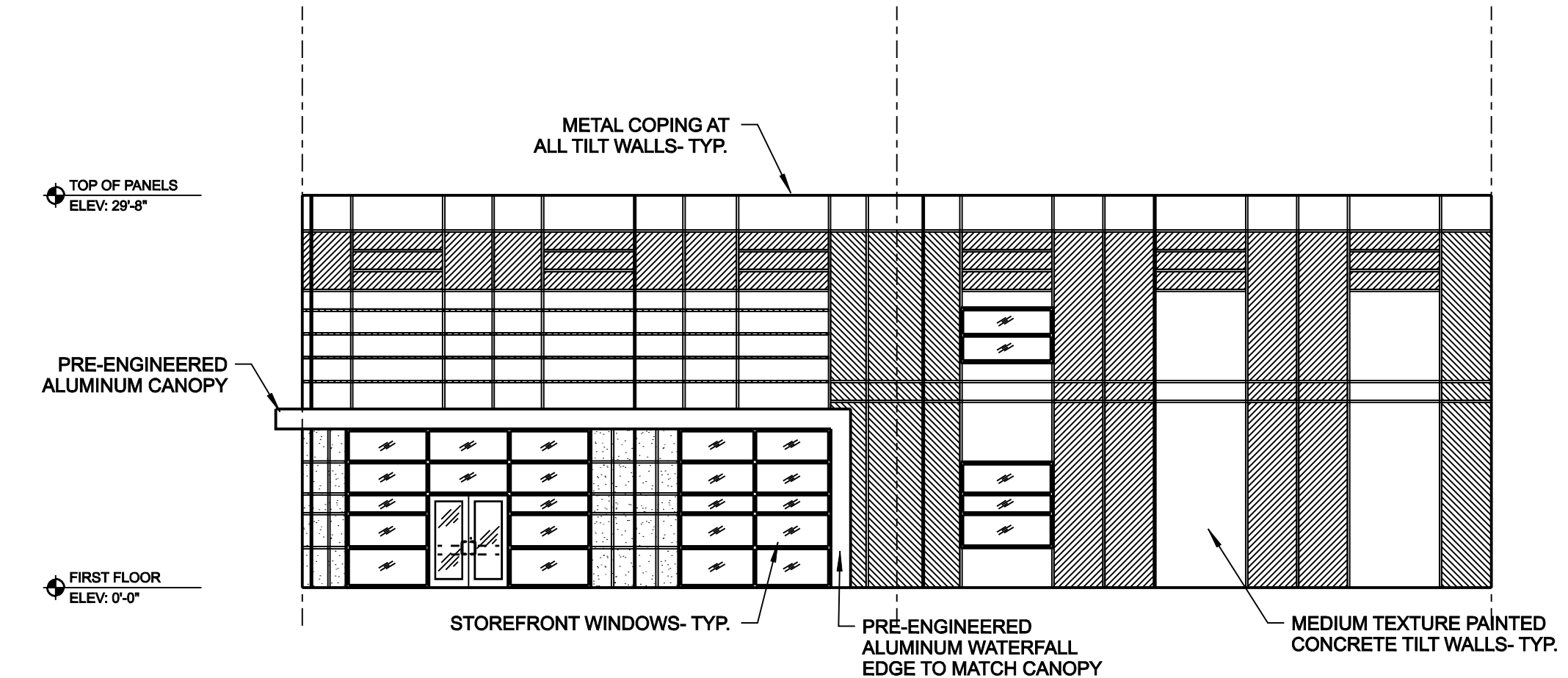
- PAINT #1; FIELD (A) (EIDER WHITE)
- PAINT #2; ACCENT (B) (MINDFUL GRAY)
- PAINT #3; ACCENT (C) (DOVETAIL)

NOTES:

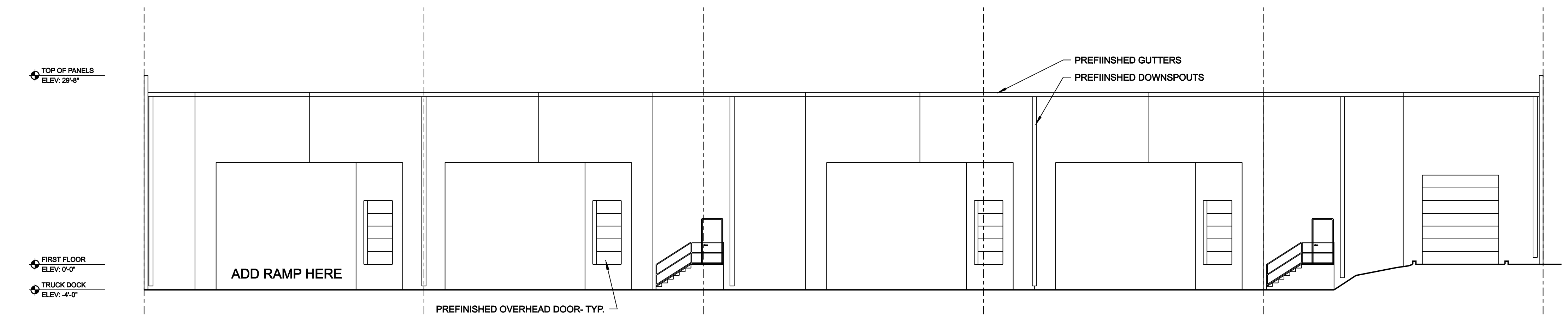
1. PAINT ALL TILT CONCRETE W/ U.N.O.
2. PAINT ALL INTERIOR BOLLARDS & GUARDS SAFETY YELLOW.
3. PAINT ALL EXTERIOR BOLLARDS SAFETY YELLOW.
4. DIRECT METAL PRIMER TO BE USED ON ALL PAINTED GALVANIZED METAL.
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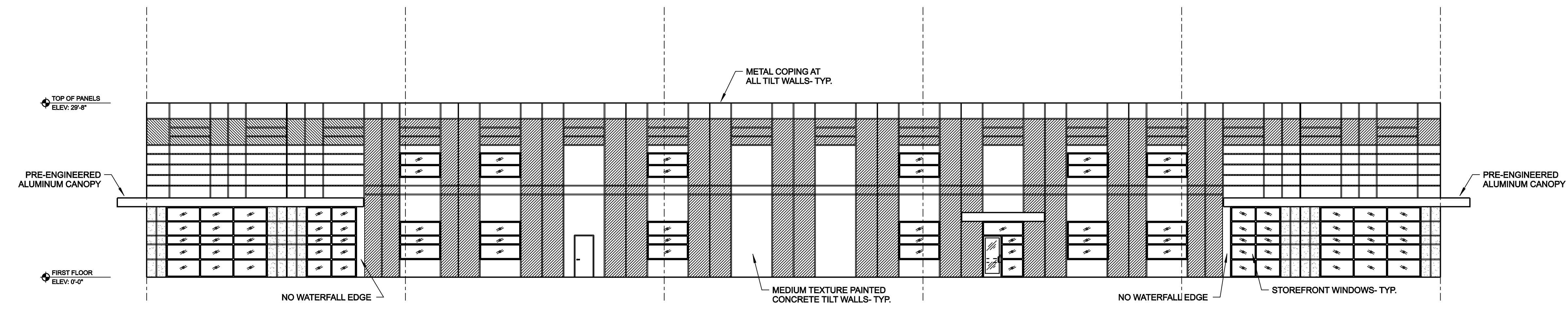
4 ELEVATION (NORTH)
SCALE: 3/32" = 1'-0"



3 ELEVATION (SOUTH)
SCALE: 3/32" = 1'-0"



2 ELEVATION (EAST)
SCALE: 3/32" = 1'-0"



1 ELEVATION (WEST)
SCALE: 3/32" = 1'-0"

ADDED MATERIAL
NOTES TO ALL
ELEVATIONS

| REV. | DATE | DESCRIPTION |
|------|----------|-----------------|
| 1 | 09.29.21 | PERMIT COMMENTS |

DATE:
AUGUST 25, 2021

PROJECT NO.:
17000.22.01

TITLE:
BUILDING 2-
ELEVATIONS

DRAWING NO.
A-2.2



2907 Providence Rd
Suite 304
Charlotte, NC 28211

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SLAVIATION
PHASE II:
BUILDING 1 &
BUILDING 2



7045 AVIATION BLVD.
CONCORD, NC

'SHELL'



SEPTEMBER 29, 2021



1 BUILDING 2- RENDERING
SCALE: N.T.S.

| REV. | DATE | DESCRIPTION |
|------|----------|-----------------|
| 1 | 09.29.21 | PERMIT COMMENTS |

DATE:
AUGUST 25, 2021

PROJECT NO.:
17000.22.01

TITLE:

EXTERIOR
RENDERING

DRAWING NO.

A-2.3

NEW SHEET



2907 Providence Rd
Suite 304
Charlotte, NC 28211

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HERLOCKER
MECHANICAL SYSTEMS
Plumbing • Piping • HVAC
12600 Downs Road
Pineville, North Carolina 28134
Phone: 704-962-3760
Fax: 704-962-3763
N.C. License Number D-0304

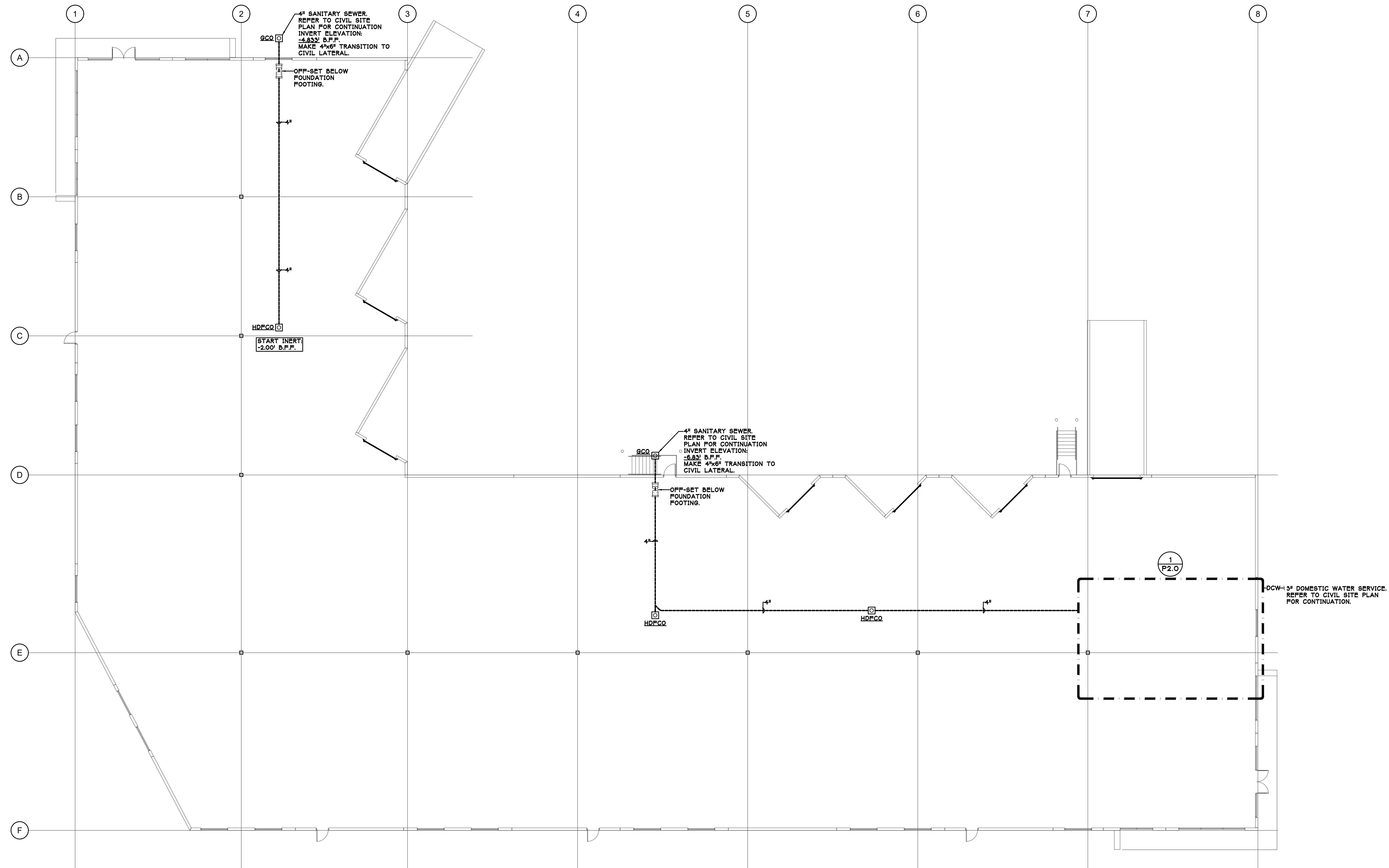
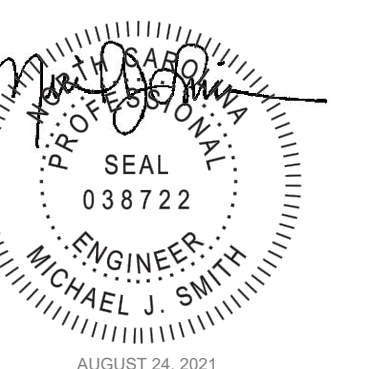


SL AVIATION
PHASE II:



7045 AVIATION BLVD.
CONCORD, NC

'SHELL'



1 PLUMBING FLOOR PLAN
P1.0 SCALE: 3/32" = 1'-0"

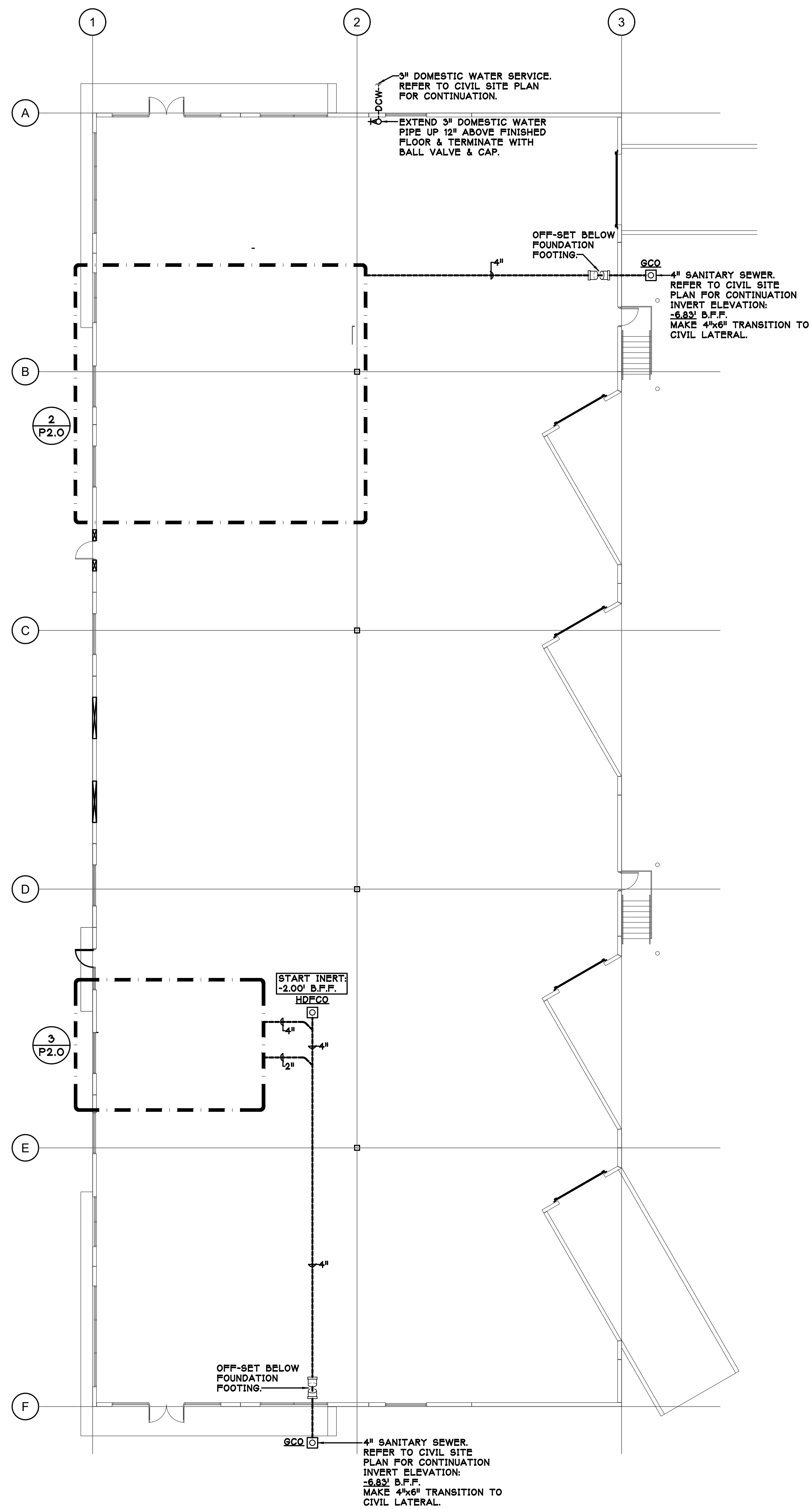
| REV | DATE | DESCRIPTION |
|-----|----------|-------------------------|
| 1 | 08/24/21 | ISSUED FOR CONSTRUCTION |

DATE:
AUGUST 24, 2021

PROJECT NO.:
17000.22.01

TITLE:
BUILDING 1
FLOOR PLAN

DRAWING NO.:
P1.0



1 PLUMBING FLOOR PLAN
 P1.1 SCALE: 3/32" = 1'-0"



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 Charlotte, NC 28211
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 N.C. License Number D-0304

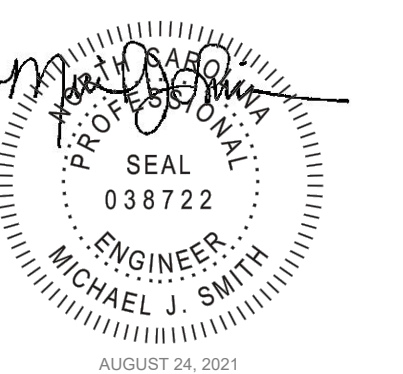


SL AVIATION
 PHASE II:



7045 AVIATION BLVD.
 CONCORD, NC

'SHELL'



| REV | DATE | DESCRIPTION |
|-----|----------|-------------------------|
| 1 | 08/24/21 | ISSUED FOR CONSTRUCTION |

DATE:
 AUGUST 24, 2021

PROJECT NO.:
 17000.22.01

TITLE:
 BUILDING 2
 FLOOR PLAN

DRAWING NO.
P1.1

Mixed Use

Christenbury Village (PRS2021-00713)

9620 Christenbury Pkwy

| First Submittal | Last Submittal | Units | Technically Approved |
|-----------------|----------------|---|----------------------|
| 3/4/21 | 11/29/21 | 2 Mixed Use Buildings: 156 residential units, 42,119 sf of non-residential | No |

Allocation Request

| Total | 2022 | 2023 | 2024 |
|--------------|-------|------|------|
| 33778 | 33778 | | |

Project Scoring

| Small Area Plan | Vertical Mixed Use | Redevelopment Site | Horizontal Mixed Use | Downtown (MSD) | Located Adjacent to Existing Sewer | Annex. | Total |
|-----------------|--------------------|--------------------|----------------------|----------------|------------------------------------|--------|-------|
| 0 | 2 | 0 | 1 | 0 | 1 | 0 | 4 |

Brief Summary

This request should be construed for the 2 mixed use buildings: 156 multi-family units and 42,119 square feet of non-residential. Overall, there is an approximately 132,600 square feet of commercial in the mixed-use development on Christenbury Pkwy. This consists of 3 commercial buildings, two mixed use buildings, and a Lowes Foods Grocery Store. The property was voluntarily annexed in February 2005. The PUD Z(CD) 27-04 was amended in 2005 and 2009. After an unsuccessful attempt to modify the zoning via Z(CD) 15-17, denied by the Planning and Zoning Commission on May 30, 2018, and denied by City Council on July 12, 2018. The applicants then proceeded to move forward under the existing entitlements, after said entitlements were subject to a Board of Adjustment hearing on interpretation on December 6, 2018. A site plan was reviewed and adopted by the Planning and Zoning Commission on August 18, 2020, and amended by the Planning and Zoning Commission on February 19, 2021, to include the incorporation of a grocery store. The preliminary plat for the entire site was approved on August 11, 2021.

PRS2021-00713 is the case for infrastructure improvements associated with the entire site. PRS2021-03653 is the case for the Lowe's Foods Grocery Store.

Outstanding Items

There are 25 outstanding comments on the infrastructure improvements, including the outstanding NCDOT driveway permit and other technical requirements.



PRELIMINARY WASTEWATER FLOW APPLICATION

INSTRUCTIONS FOR FORM: PWWF-2021

The City of Concord Preliminary Wastewater Flow Application is to be completed for any residential, commercial, and/or industrial site development projects requiring a permit based upon 15A NCAC Subchapter 2T rules and the Water and Sewer Authority of Cabarrus County sewer allocation and commitment policy.

A DIGITAL COPY OF THE COMPLETED APPLICATION PACKAGE, SUPPORTING INFORMATION AND MATERIALS, SHOULD BE UPLOADED TO ACCELA ONLINE PORTAL IN THE APPLICABLE ACCELA CASE AT <https://accela1.cabarruscounty.us/CitizenAccess/> , UNLESS OTHERWISE SPECIFIED.

SUPPORTING INFORMATION AT A MINIMUM NEEDS TO INCLUDE A PROJECT NARRATIVE.

The narrative should include any and all information the applicant wants City Council to consider when evaluating the project for flow allocation. In general, the narrative should be a description of the project, including project data (zoning, number of lots, type of housing or business), price points for homes or investment for business, and any sustainability components of the plan (ie walking trails, water conservation, green building practices, operational aspects of business such as waste reduction, recycling, etc).

| | |
|--|---|
| <p><u>For Accela Case Inquiries, Contact:</u></p> <p>CITY OF CONCORD Planning & Neighborhood Development- Zoning Services Post Office Box 308 Concord, North Carolina 28026-0308 Telephone Number: (704) 920-5152</p> | <p><u>For Engineering Design Inquiries, Contact:</u></p> <p>CITY OF CONCORD Engineering Department Post Office Box 308 Concord, North Carolina 28026-0308 Telephone Number: (704) 920-5425</p> |
|--|---|



PRELIMINARY WASTEWATER FLOW APPLICATION

(THIS FORM MAY BE PHOTOCOPIED FOR USE AS AN ORIGINAL)

| TO BE COMPLETED BY THE CITY OF CONCORD | |
|--|--|
| Planning Case No: | |
| Engineering Project No: | |
| ATC No: | |

| | | | | | | |
|---|---|---|---|----------------------------|--|-----------------------------|
| A. Project Information | 1.) | Project Title: | Christenbury Village | | | |
| | 2.) | Description of project location: | 9620 Christenbury Parkway, approx 2,600 LF NW of the intersection of Derita Rd (SR 1445) and Christenbury Parkway <small>(Example: Site located on (Road name) SR ####, approx #### linear feet (North, South, West or East) of the intersection of Road name (SR ####) and Road Name (SR ####))</small> | | | |
| | 3.) | Cabarrus County Parcel Identification Number: | 4589-27-3952 | 3a.) | Parcel Acreage: | 17.0 ac |
| | 4.) | Site Zoning and use: | PUD, Mixed Use | 5.) | Area Commercial or Industrial Building (sq. ft.) | 117,275 |
| | 6a.) | Description of Facility to be served. | Mixed Use - Residential/Commercial/Office | 6b.) Number of Lots | 5 | 6c.) Number of Units 156 |
| | 7d.) | Additional description information: | | | | |
| | B. Applicant Information | Christenbury Investors, LLC Manager <small>(Title)</small> | | 2400 South Blvd, Suite 300 | | |
| <small>(Name of legal owner, board, council, and/or authorized official with title; as defined in property records and/or a registered agent(s) as listed in the NC Secretary of State Corporation filings, hereby referred to as the Applicant.)</small> | | <small>(Applicant's Street or Box Number)</small> | | | | |
| MPV Properties, LLC | | Charlotte, NC 28203 | | | | |
| <small>(Name of Applicant's company, city, town, corporation, sanitary district, water company or other defined in property records and/or as listed in the NC Secretary of State Corporation filings, as applicable.)</small> | | <small>(Applicant's City, State, Zip Code)</small> | | | | |
| 704-561-5308 | | 704-248-2101 | | | | |
| <small>(Applicant's Phone Number)</small> | | <small>(Applicant's Facsimile Number)</small> | | | | |
| George Macon <small>(Name)</small> GMacon@mpvre.com <small>(Email)</small> | | GMacon@mpvre.com | | | | |
| <small>(Name with Title and Email of contact person, who can answer questions about application)</small> | | <small>(Applicant's Email Address)</small> | | | | |
| REQUIRED Applicant is to attach documentation of their signature authority if signing for a corporation and documentation of ownership if signing as owner. | | | | | | |
| C. Design Engineer Information if available | Brian Smith | | Urban Design Partners | | | |
| | <small>(Typed name of North Carolina Professional Engineer)</small> | | <small>(Company Name)</small> | | | |
| | 27890 | | 1213 W Morehead St, Suite 450 | | | |
| | <small>(NCPE Registration Number)</small> | | <small>(Street or Box Number)</small> | | | |
| | (704) 334-3303 | | Charlotte, NC 28202 | | | |
| | <small>(Phone Number)</small> | | <small>(City, State, Zip Code)</small> | | | |
| Alex Spence | | aspence@urbandesignpartners.com | | | | |
| <small>(Name and affiliation of contact person, who can answer questions about application & designs)</small> | | <small>(Engineer's Email Address)</small> | | | | |

NOTE: Final allocation approval must be obtained by the preliminary allocation approval expiration date. The final sewer allocation shall not be more than the preliminary sewer allocation approved.

D. Wastewater Discharge Information

1.) The origin of this wastewater is (check all that apply):

| | | | |
|-------------------------------------|--|-------------------------------------|-----------------------------------|
| <input type="checkbox"/> | Residential Subdivision | <input checked="" type="checkbox"/> | Retail (Stores, shopping centers) |
| <input checked="" type="checkbox"/> | Apartments/Condominiums | <input type="checkbox"/> | Institution |
| <input type="checkbox"/> | Mobile Home Park | <input type="checkbox"/> | Hospital, nursing home, dental |
| <input type="checkbox"/> | School, preschool, daycare | <input type="checkbox"/> | Church |
| <input checked="" type="checkbox"/> | Restaurants (Food or drink facilities) | <input type="checkbox"/> | Sports Centers |
| <input type="checkbox"/> | Hotels or motels | <input checked="" type="checkbox"/> | Business, offices, factories |
| <input type="checkbox"/> | Other (specify): _____ | | |

2.) The type of wastewater is (indicate percentage):

| | |
|----|-----------------------------|
| 65 | % Domestic |
| 35 | % Commercial |
| | % Industrial |
| | % Other use (Specify) _____ |

3.) Pretreatment required:

No

Yes (Specify or attach effluent documentation)

4.) Volume of wastewater flow to be allocated for this particular project: 58,641.82 gallons per day
 *Wastewater discharge volume shall be calculated in accordance with values defined in Title 15A NCAC 2T .0114
 (Do not include future wastewater discharge projections that are outside of the scope of the project or previously allocated wastewater flow.)

5.) Summarize wastewater flow generated by project in the table below: The wastewater flow calculations used in determining the permitted flow in accordance with 15A NCAC 2T .0114

a) See 15A NCAC 2T.0114(b), (d), (e)(2) for caveats to wastewater flow rates (i.e., minimum flow per dwelling, proposed unknown non-residential development, uses; public access facilities located near high public use areas; as defined in G.S. 42A-4).

b) Per 15A NCAC 02T.0114(c), design flow rated for establishments not identified [in Table 15A NCAC 02T.0114] shall be determined using available flow data, water using fixtures, occupancy or operation patterns, and other measured data.

{Flow rates NOT listed in table 15A NCAC 2T .0114 must be supported with actual water use or wastewater discharge data in accordance with 15A NCAC 2T .0114 (f) and must be attached to this application and sealed by a NC licensed professional engineer.}

| Established Type (See 02T.0114(f)) | Daily Design Flow (a, b) | | No. of Units | Flow | |
|------------------------------------|--------------------------|----------|--------------|------------|------------------|
| See attached calculations | n/a | gal/ n/a | n/a | GPD | 58,641.82 |
| | | gal/ | | GPD | |
| | | gal/ | | GPD | |
| | | gal/ | | GPD | |
| | | gal/ | | GPD | |
| | | gal/ | | GPD | |
| | | gal/ | | GPD | |
| | | | Total | GPD | 58,641.82 |

Applicant Acknowledgement: TO BE COMPLETED BY THE APPLICANT

I, George Macon, the undersigned, do hereby make application for preliminary wastewater allocation wastewater allocation. I hereby certify that I have full legal rights to request such action and that the statements or information contained herein and herewith are true and correct to the best of my knowledge.


 Signature: _____ Date: 1/24/22

**CHRISTENBURY VILLAGE
PRELIMINARY WASTEWATER FLOW APPLICATION
NARRATIVE AND CALCS**

DATE: 01/20/2022

UDP PROJECT NO: 20-117

APPLICANT

MPV Properties
George Macon
2400 South Boulevard, Suite 300
Charlotte, NC 28203
980-272-2015

ENGINEER

Urban Design Partners
Brian D. Smith, P.E.
1213 W Morehead Street, Suite 450
Charlotte, NC 28208
704-334-3303
704-334-3305 (fax)

PROJECT LOCATION

9620 Christenbury Parkway, Concord, NC 28027

NARRATIVE

MPV Properties is constructing a ±117,275 square foot vertically integrated mixed-use development on a 17.0 ac site at the NWC corner of Christenbury Parkway and Cox Mill Road (PID # 4589-27-3947, Zoning: PUD). The final development plan is the culmination of four (4) years of design collaboration with City of Concord Staff. This project approximates \$65 million in total development costs and executes the original design vision of the Christenbury Neighborhood Village.

This mixed-use development will consist of 5 proposed lots which will include 3 commercial buildings, 2 mixed use buildings consisting of 156 upscale apartment units and neighborhood service uses, and will be anchored by a Lowes Foods Grocery Store. The lease with Lowes Food is signed, and the store is expected to open in 2023. Additionally, NCDOT roadway improvements along Christenbury Parkway will span from Cox Mill Parkway to just west of Beard Road. These improvements include but are not limited to a roundabout, roadway widening, a 10' multi-use path along the property frontage, and pedestrian signalization and connectivity at the intersection of Cox Mill Road and Christenbury Parkway.

The subdivision construction drawings, City of Concord Record Number PRS2021-00713, were initially submitted on 3/4/2021. The construction drawings are currently under revision #4 and plans are anticipated for approval upon Review Plan Cycle #5.

The proposed buildings will be served by a proposed 8" PVC sanitary sewer line that will connect to the existing sanitary sewer line at the northwest property line of the site.

The following calculations illustrate the sanitary sewer demands for each building based on values provided by the City of Concord and found in 15A NCAC 02T .0114.

SANITARY SEWER CALCULATIONS

Mixed Use Building (Lot 1, Building #1):

Residential: 92 units (2 br or less) * 240 GPD + 4 units (3 br) * 120 GPD/br = 23,520 GPD

¹Club/Amenity: 7,400 SF * 50 gal/100 SF = 3,700 GPD

²Retail: 19,100 SF * 130 gal/1,000 SF = 2,483 GPD

Total: 29,703 GPD

Mixed Use Building (Lot 3, Building #3):

Residential: 56 units (2 br or less) * 240 GPD + 4 units (3 br) * 120 GPD/br = 14,880 GPD

²Retail: 15,346 SF * 130 gal/1,000 SF = 1,994.98 GPD

Total: 16,874.98 GPD

Grocery Store (Lot 5, Building #5)

³Deli: 40 gal/100 SF * 3,031 SF = 1,212.4 GPD

⁴Bakery: 10 gal/100 SF * 1,441 SF = 144.1 GPD

⁵Meat department: 75 gal/100 SF * 2,805 SF = 2,103.75 GPD

²General retail: 130 gal/1,000 SF * 44,723 SF = 5,813.99 GPD

Total: 9,274.24 GPD

Commercial Building (Lot 4, Building #4)

⁶Non-residential, unknown occupancy: 880 gal/acre * 0.97 ac = 853.6 GPD

Commercial Building (Lot 2, Building A):

⁶Non-residential, unknown occupancy: 880 gal/acre * 0.73 ac = 642.4 GPD

Commercial Building (Lot 2, Building B):

⁶Non-residential, unknown occupancy: 880 gal/acre * 1.47 ac = 1,293.60 GPD

Total Sanitary Sewer Demand: 58,641.82 GPD

15A NCAC 02T .0114 REFERENCES

- | | | |
|-----|--|------------------------------|
| 1 = | Fitness, exercise, karate or dance center | 50 gal/100 sq ft |
| 2 = | Shopping centers and malls with food service | 130 gal/1000 sq ft |
| 3 = | Deli | 40 gal/100 sq ft floor space |
| 4 = | Bakery | 10 gal/100 sq ft floor space |
| 5 = | Meat department, butcher shop or fish market | 75 gal/100 sq ft floor space |
- (d) Design daily flow rates for proposed non-residential developments where the types of use and occupancy are not known shall be designed for a minimum of 880 gallons per acre, or the applicant shall specify an anticipated flow based upon anticipated or potential uses.
- 6 =

DEVELOPMENT SUMMARY

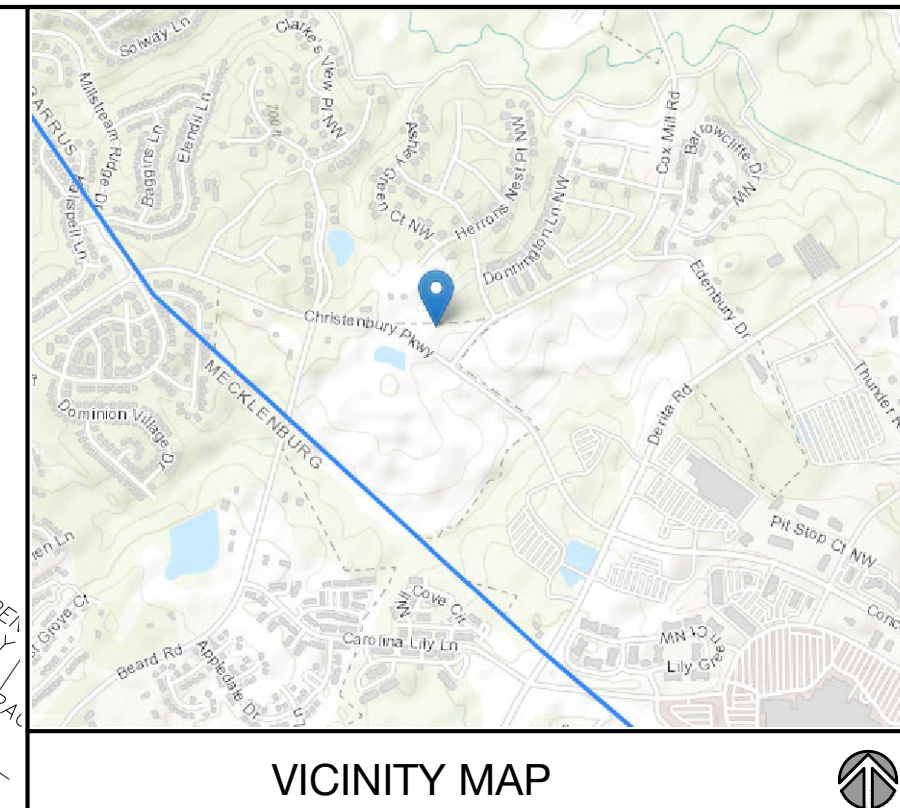
| | |
|-----------------------|---|
| TAX PARCEL ID #'S: | 4589-27-3952 |
| TOTAL SITE AREA: | 17.00 ACRES |
| LOT 1 | 4.79 AC |
| LOT 2 | 2.26 AC |
| LOT 3 | 2.77 AC |
| LOT 4 | 1.02 AC |
| LOT 5 | 4.69 AC |
| PUBLIC R/W | 1.04 AC |
| FUTURE R/W | 0.44 AC |
| ZONING: | PUD |
| PROPOSED USE: | |
| RETAIL/COMMERCIAL: | 132,599 SF |
| RESIDENTIAL: | 156 UNITS |
| DENSITY: | |
| MAXIMUM: | 18 DUA |
| PROPOSED: | 9.2 DUA |
| VEHICULAR PARKING: | |
| REQUIRED: | |
| COMMERCIAL: | 132,599 SF @ 1/400 SF |
| RESIDENTIAL: | 331 SPACES |
| MINIMUM: | 156 * 1.5/UNIT = 234 SPACES |
| MAXIMUM: | 156 * 2.5/UNIT = 390 SPACES |
| PROPOSED: | |
| ON-STREET: | 24 |
| OFF-STREET: | 702 |
| IMPERVIOUS SUMMARY | |
| BUILDING: | 122,449 SF |
| PARKING: | 319,551 SF |
| SIDEWALK: | 35,833 SF |
| TOTAL: | 477,833 SF (±11.0 AC) |
| BUILT-UPON-AREA: | 56.8% |
| BUILDING HEIGHT: | 100' MAXIMUM |
| CONSTRUCTION SCHEDULE | |
| START: | SEPT 2021 |
| PLATTING: | DEC 2021 |
| COMPLETION: | MAY 2023 |
| CONSTRUCTION SUMMARY | |
| LARGEST BUILDING: | BLDG 1 = 132,550 |
| CONSTRUCTION TYPE: | VA FOR APARTMENTS 1A PODIUM FOR COMMERCIAL |

DEVELOPMENT NOTES/CONDITIONS:

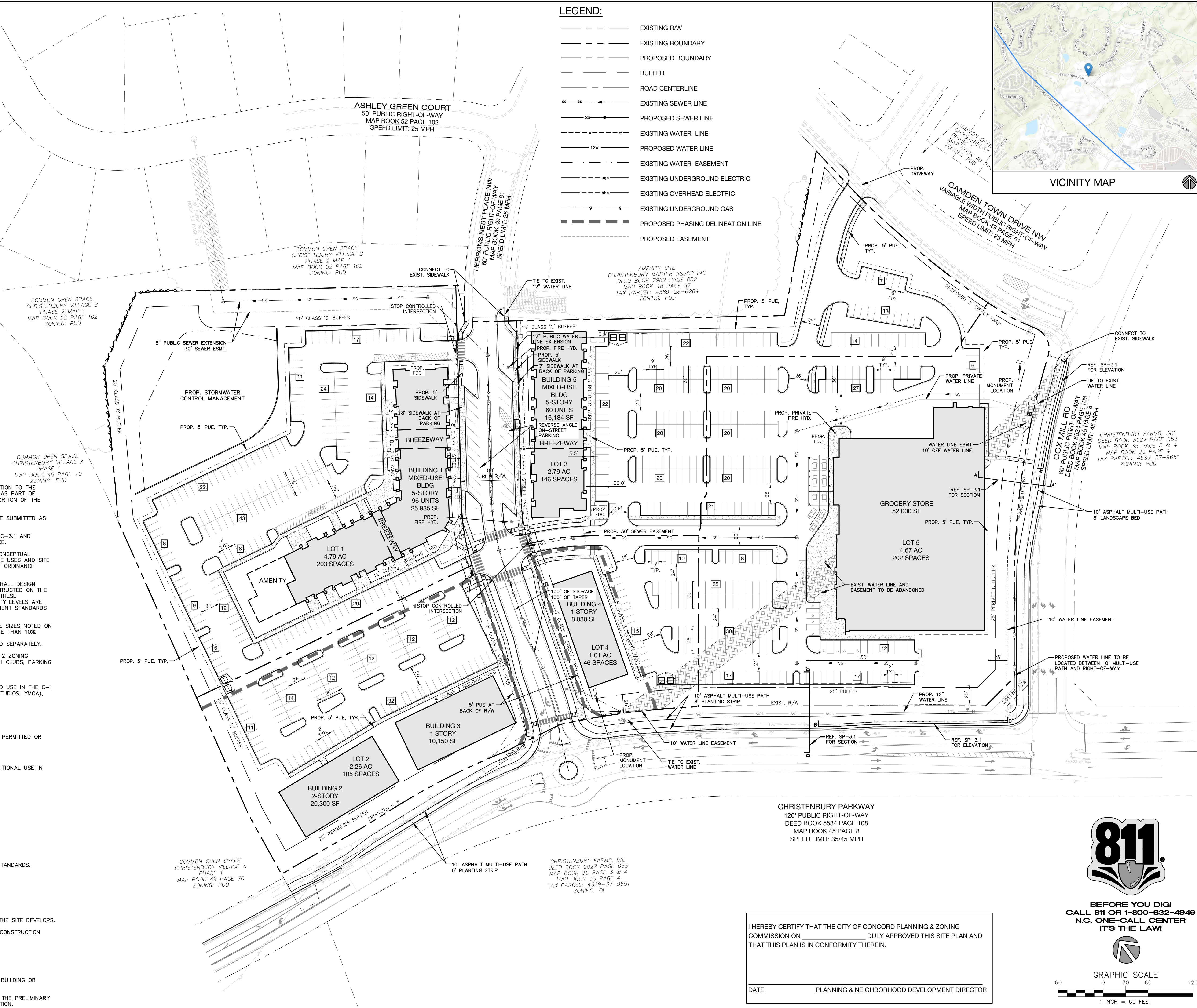
- THE CONDITIONS OF THIS APPLICATION ARE SUPPLEMENTAL AND IN ADDITION TO THE APPROVALS, CONDITIONS AND USES APPROVED ON FEBRUARY 10, 2005 AS PART OF ORDINANCE #05-11 AND AFFECT ONLY THE "NEIGHBORHOOD CENTER" PORTION OF THE CHRISTENBURY PLANNED UNIT DEVELOPMENT.
- FULL TECHNICAL SITE PLAN AND PRELIMINARY PLAT APPROVAL SHALL BE SUBMITTED AS PART OF THE PERMITTING PROCESS.
- THE PROPOSED STRUCTURES MAY BE MODIFIED AS DEPICTED ON SHEET C-3.1 AND SUBJECT TO THE PROVISIONS OF THE CONCORD DEVELOPMENT ORDINANCE.
- THE LAYOUT AND LAND USES DEPICTED ON THIS SITE PLAN ARE FOR CONCEPTUAL PURPOSES ONLY. THE PETITIONER RESERVES THE RIGHT TO CHANGE THE USES AND SITE LAYOUT AS PERMITTED BY THE CONCORD DEVELOPMENT ORDINANCE AND ORDINANCE #05-11.
- ILLUSTRATIVE BUILDING ELEVATIONS ARE INCLUDED TO REFLECT THE OVERALL DESIGN INTENT AND QUALITY LEVELS OF THE BUILDINGS THAT ARE TO BE CONSTRUCTED ON THE SITE. THE ACTUAL BUILDINGS CONSTRUCTED ON SITE MAY VARY FROM THESE ILLUSTRATIONS PROVIDED THAT THE OVERALL DESIGN INTENT AND QUALITY LEVELS ARE PRESERVED AND THE OTHER DESIGN FEATURES LISTED IN THE DEVELOPMENT STANDARDS ARE MAINTAINED.
- ON A CASE BY CASE BASIS, THE BUILDINGS CAN BE SMALLER THAN THE SIZES NOTED ON THE PLAN; HOWEVER, THEY CANNOT EXCEED THE SIZES STATED BY MORE THAN 10%.
- SIGNAGE FOR THE PROJECT AND BUILDING SIGNAGE SHALL BE PERMITTED SEPARATELY.
- ALL USES THAT ARE ALLOWED AS A PERMITTED USE IN THE C-1 OR C-2 ZONING DISTRICTS (INCLUDING HOTELS, MOTELS, RESTAURANTS, TAVERNS, HEALTH CLUBS, PARKING RAMPS, BED AND BREAKFAST ESTABLISHMENTS).
- CIVIC AND INSTITUTIONAL USES
ALL CIVIC AND INSTITUTIONAL USES THAT ARE ALLOWED AS A PERMITTED USE IN THE C-1 OR C-2 DISTRICTS (INCLUDING DAY CARE CENTERS AND DANCE/MUSIC STUDIOS, YMCA), EXCEPT FOR THE FOLLOWING:
- GROUP HOMES
- RELIGIOUS INSTITUTIONS
- SCHOOLS, PUBLIC OR PRIVATE
- PROFESSIONAL OFFICE / BUSINESS USES
ALL PROFESSIONAL OFFICE / BUSINESS USES THAT ARE ALLOWED AS A PERMITTED OR CONDITIONAL USE IN THE B-1 DISTRICT INCLUDING THE FOLLOWING:
- PET CARE SERVICES (EXCLUDING KENNELS)
- RETAIL TRADE USES
ALL RETAIL TRADE USES THAT ARE ALLOWED AS A PERMITTED OR CONDITIONAL USE IN THE C-1, C-2 AND /OR B-1 DISTRICTS INCLUDING THE FOLLOWING:
- HOBBY STORES
- DRY CLEANERS
- ABC STORES
- PROHIBITED USES
ALL THE FOLLOWING USES ARE SPECIFICALLY PROHIBITED
- ADULT ENTERTAINMENT ESTABLISHMENTS
- STAND ALONE (BIG BOX) RETAIL STORES RESIDE
- MINI-WAREHOUSES
- MAJOR AUTOMOTIVE REPAIR CENTERS
- BAIL BONDING SERVICES
- PAWNSHOPS
- REFERENCE IS MADE TO AA-03-19 AND AA-03-18 FOR REGULATORY STANDARDS.
- REFER TO THE APPROVED TECHNICAL DATA SHEET DATED 02/10/05.
- ANY RELOCATION OF EXISTING ELECTRICAL FACILITIES SHALL BE AT THE OWNER'S/DEVELOPER'S COST.
- THERE ARE NO NEW LOTS BEING CREATED WITH THIS SITE PLAN.
- PHASING SHOWN ON THE PLAN IS APPROXIMATE AND MAY CHANGE AS THE SITE DEVELOPS.
- FINAL LANDSCAPING SHALL BE DETERMINED AT TIME OF PERMITTING OF CONSTRUCTION DOCUMENTS.
- PROJECT SCHEDULE
PERMITTING: SEPT 2021
CONSTRUCTION: SEPT 2021 - MAY 2023
PLATTING: DEC 2021
- CROSS ACCESS AND PARKING EASEMENTS WILL BE IN PLACE FOR EACH BUILDING OR FUTURE LOT.
- PHASING MAY BE REQUIRED OR BE MORE RESTRICTIVE THAN SHOWN ON THE PRELIMINARY PLAT BASED UPON LIMITATIONS OF AVAILABLE SEWER CAPACITY ALLOCATION.

LEGEND:

- EXISTING RW
- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- BUFFER
- ROAD CENTERLINE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING WATER EASEMENT
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND GAS
- PROPOSED PHASING DELINEATION LINE
- PROPOSED EASEMENT



URBAN DESIGN PARTNERS
 1213 w morehead st ste 450
 charlotte, nc 28208
 P 704.334.3303
 urbandesignpartners.com
 nc firm no: P-0418 sc coa no: C-03044



PRELIMINARY DRAWING
 FOR REVIEW PURPOSES ONLY

MPV Properties
 George Macon
 2400 South Boulevard, Suite 300
 Charlotte, NC 28203

Christenbury Village
 Site Plan
 9620 Christenbury Parkway, Concord, NC 28027

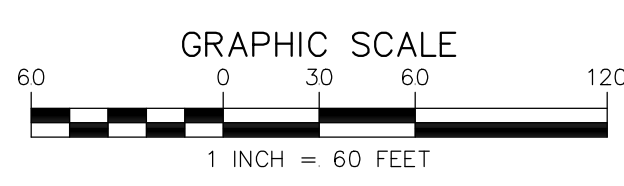
| NO. | DATE: | BY: | REVISIONS: |
|-----|----------|-----|-------------------------------|
| 01 | 05.21.21 | UDP | PER CONCORD COMMENTS |
| 02 | 06.25.21 | UDP | PER CONCORD PLANNING COMMENTS |



Project No: 20-CLT-117
 Date: 02.24.2021
 Designed By: UDP
 Checked By: UDP
 Sheet No:

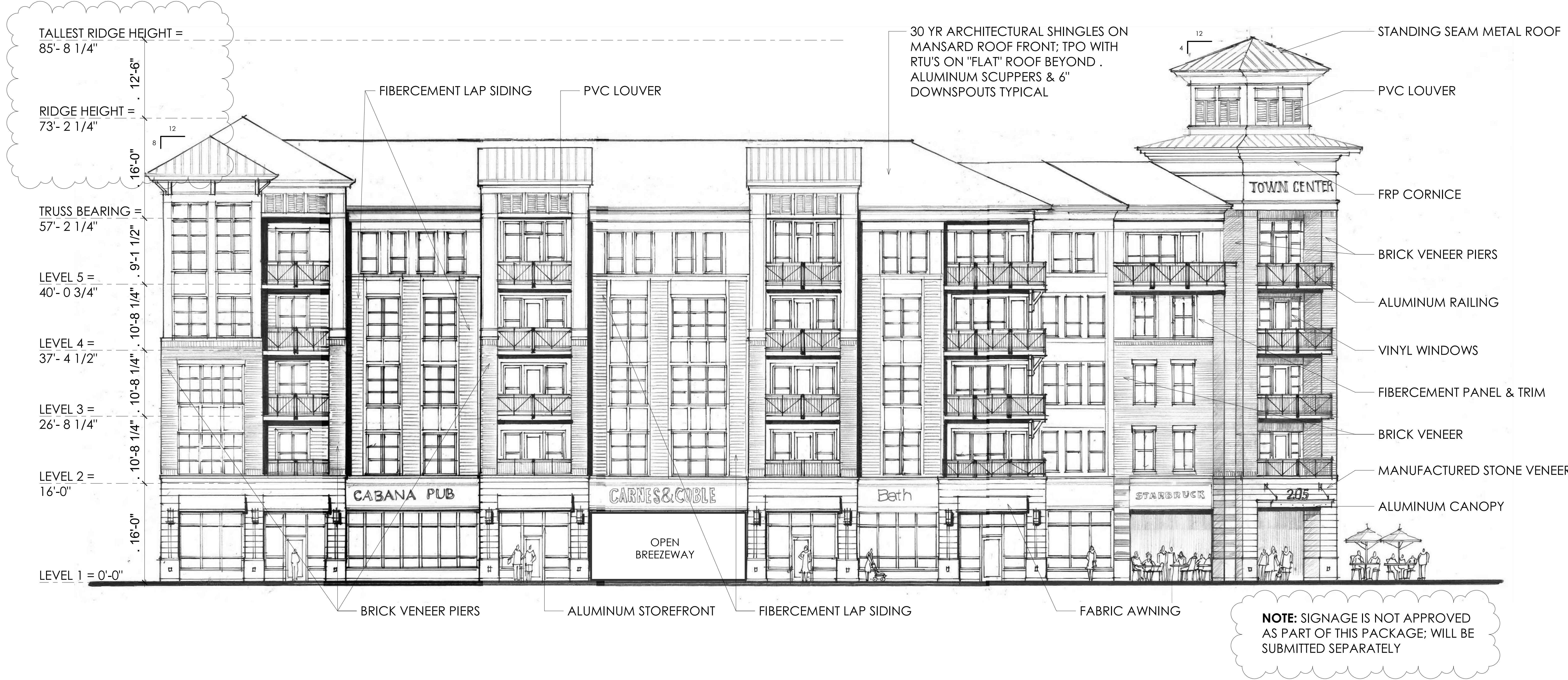
I HEREBY CERTIFY THAT THE CITY OF CONCORD PLANNING & ZONING COMMISSION ON _____ DULY APPROVED THIS SITE PLAN AND THAT THIS PLAN IS IN CONFORMITY THEREIN.

DATE _____ PLANNING & NEIGHBORHOOD DEVELOPMENT DIRECTOR



SP-3.0

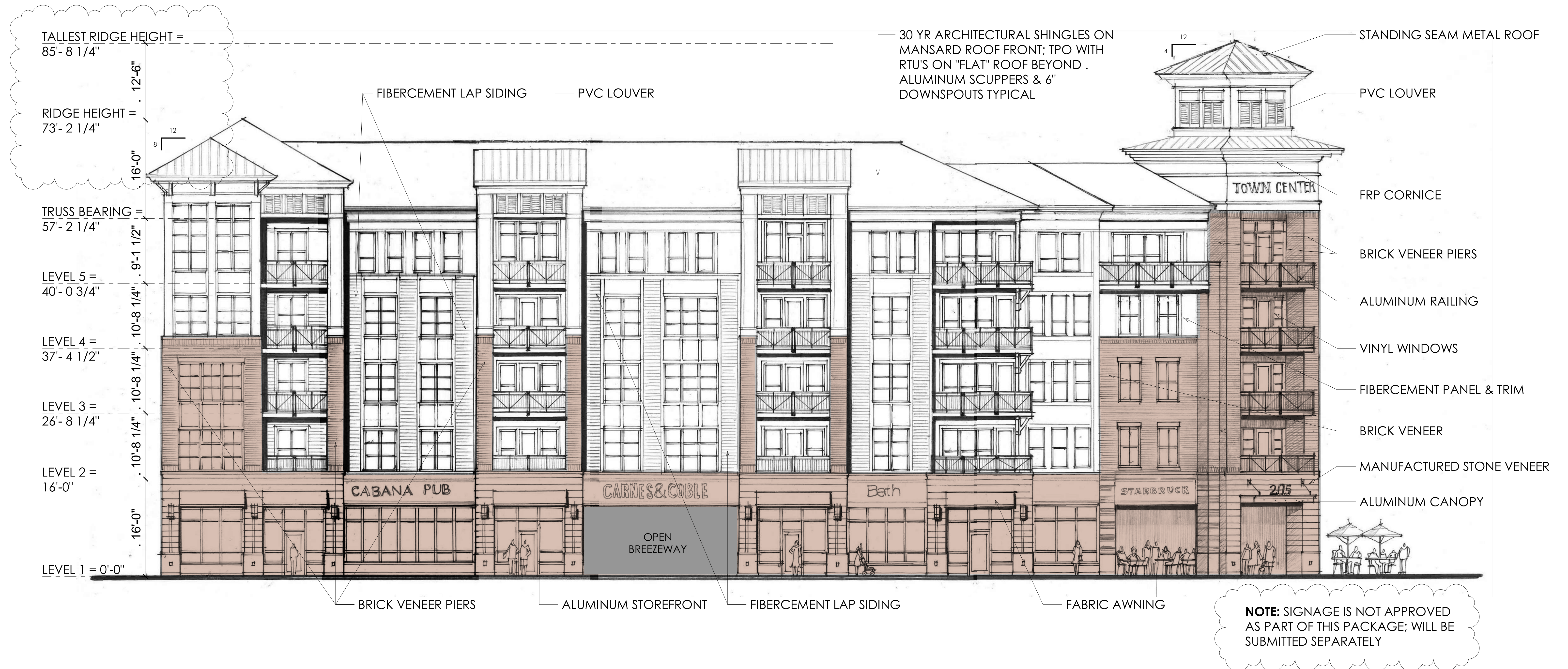
The elevations are conceptual in nature. The final building to be constructed on the site may vary so long as the overall character and massing of the building is maintained. The elevations are intended to reflect the use of varied materials, corner features, ground floor treatment, varied rooflines and balconies.



A-201
NOT TO SCALE
TYPICAL ELEVATION

MPV CHRISTENBURY MIXED USE
WITH MISSION PROPERTIES

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